RESIDENCE REMODEL

18 SUTTER STREET
WOODLAND, CA 95695
APN: 005-060-004

GENERAL NOTES:

1. GENERAL CONDITIONS OF THE CONTRACT (AIA DOCUMENT A-201) SHALL APPLY TO THIS PROJECT.

2. ALL WORK SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES. FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY STANDARDS, AND THE BEST TRADE PRACTICES.

3. THE GENERAL CONTRACTOR SHALL ARRANGE ALL INSPECTIONS AND TESTS AS SPECIFIED OR REQUIRED BY THE BUILDING DEPARTMENT AND SHALL PAY ALL COSTS AND FEES FOR SAME. THE CONTRACTOR SHALL SECURE ALL BUILDING PERMITS AND UPON COMPLETION OF THE PROJECT (PRIOR TO FINAL PAYMENT) DELIVER TO THE OWNER A CERTIFICATE OF OCCUPANCY OR USE FROM THE BUILDING DEPARTMENT.

4. ALL PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY STATE LICENSED CONTRACTORS. CONTRACTORS SHALL SUBMIT ALL REQUIRED PERMITS, CERTIFICATES, AND SIGN-OFFS TO OWNER AND ARCHITECT FOR THEIR RECORDS.

5. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, BE FAMILIAR WITH THE EXISTING CONDITIONS, AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMISSION OF CONSTRUCTION PROPOSAL AND BEFORE BEGINNING WORK. THE DRAWINGS REFLECT CONDITIONS REASONABLY INFERRED FROM THE EXISTING VISIBLE CONDITIONS BUT CANNOT BE GUARANTEED BY THE ARCHITECT. DRAWINGS MAY BE SCALED FOR ESTIMATING PURPOSES AND FOR GENERAL REFERENCE ONLY. FOR ALL OTHER DIMENSIONS OR LOCATIONS CONSULT THE ARCHITECT OR REFER TO DIMENSIONS ON DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD.

6. THE GENERAL CONTRACTOR SHALL LAY OUT ALL WORK AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS FOR TRADES SUCH AS ELECTRICAL, PLUMBING, ETC.

7. THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ACCESS TO THE PREMISES AT ALL TIMES.

8. THE CONSTRUCTION MANAGER SHALL MAKE THE PREMISES SECURE FROM THE ELEMENTS AND TRESPASS ON A DAILY BASIS.

9. THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE FREE AND CLEAR OF ALL DEBRIS AND KEEP OUT ALL UNAUTHORIZED PERSONS. UPON COMPLETION OF WORK, THE ENTIRE CONSTRUCTION AREA IS TO BE THOROUGHLY LEANED AND PREPARED FOR OCCUPANCY BY OWNER. ALL MATERIALS AND DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY. CARE SHALL BE TAKEN DURING CONSTRUCTION THAT NO DEBRIS OR MATERIALS ARE DEPOSITED IN ANY RIGHT OF WAY AREA.

10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING AND NEW CONDITIONS AND MATERIALS ON THE SITE. ANY DAMAGE CAUSED BY OR DURING THE EXECUTION OF THE WORK IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

11. NO CUTTING OR DAMAGE TO BUILDING STRUCTURAL COMPONENTS WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT.

12. ALL UTILITIES SHALL BE CONNECTED TO PROVIDE GAS, ELECTRIC, AND WATER TO ALL EQUIPMENT WHETHER SAID EQUIPMENT IS IN CONTRACT OR NOT. EEQUIPMENT SHALL BE GUARANTEED TO FUNCTION PROPERLY UPON COMPLETION.

13. MANUFACTURER'S STANDARD SPECIFICATIONS AND MATERIALS APPROVED FOR PROJECT USE ARE HEREBY MADE PART OF THESE NOTES WITH SAME FORCE AND EFFECT AS IF WRITTEN OUT IN FULL HEREIN. ALL APPLIANCES, FIXTURES, EQUIPMENT, HARDWARE, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PROCEDURES.

14. WRITTEN WORDS TAKE PRECEDENCE OVER DRAWN LINES. LARGE-SCALE DETAILS AND PLANS TAKE PRECEDENCE OVER SMALLER DETAILS AND PLANS. SHOULD A CONFLICT ARRIVE BETWEEN THE SPECIFICATIONS AND DRAWINGS, THE REQUIREMENTS DEEMED MOST STRINGENT SHALL BE USED.

15. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BY NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK AS DETERMINED BY THE ARCHITECT SHALL BE INCLUDED IN THE WORK AS IF IT WERE SPECIFIED OR INDICATED ON THE DRAWINGS.

16. ALL ARCHITECTURAL DRAWINGS AND CONSTRUCTION NOTES ARE COMPLIMENTARY. WHAT IS INDICATED AND CALLED FOR BY ONE SHALL BE BINDING AS THOUGH CALLED FOR BY ALL.

17. NO DEVIATION FROM THE DRAWINGS OR SPECIFICATIONS OR INTENT OF SAME SHALL BE MADE WITHOUT THE ARCHITECT'S WRITTEN AUTHORIZATION.

18. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL APPROVAL. THE GENERAL CONTRACTOR SHALL SIGN THE WRITTEN GUARANTEE AS PROVIDED BY THE OWNER. THE GUARANTEE SHALL COVER ALL GENERAL AND SUBCONTRACTOR WORK. ALL DEFECTS DISCOVERED DURING THIS PERIOD SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

19. ALL DIMENSIONS ARE TO FACE OF FINISH STUD OR CENTERLINE OF STRUCTURE UNLESS OTHERWISE NOTED.

20. FLOOR LIVE LOADS: UNINHABITABLE ATTICS WITH LIMITED STORAGE..20PSF
SLEEPING AREAS.....30PSF
ALL OTHER AREAS.....40PSF
ROOF LIVE LOADS: 20 PSF
FLOOD ZONE: X= OUTSIDE A KNOWN FLOOD HAZARD ZONE

DEMOLITION NOTES:

1. METHOD OF DEMOLITION REQUIRED TO COMPLETE THE WORK TO BE PER STANDARD INDUSTRY PRACTICES AND WITHIN LIMITATIONS OF GOVERNING REGULATIONS.

2. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE DESIGN INTENT ARE ENCOUNTERED, CONTRACTOR IS TO NOTIFY OWNER AND ARCHITECT PRIOR TO PROCEEDING.

3. VERIFY LOCATION OF REQUIRED STRUCTURAL FRAMING PRIOR TO REMOVAL. DO NOT REMOVE ANY ELEMENT THAT MIGHT RESULT IN A STRUCTURAL DEFICIENCY WITHOUT PROPER TEMPORARY SHORING.

4. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED OR INDICATED AS OWNERS PROPERTY, DEMOLITION MATERIALS SHALL BECOME CONTRACTORS PROPERTY AND SHALL BE REMOVED FROM ON SITE. COMPLY WITH LOCAL REQUIREMENTS FOR OFF HAULING AND DISPOSAL.

5. NOTIFY DESIGNER AND OWNER OF SUSPECTED HAZARDOUS MATERIAL. ANY HAZARDOUS MATERIAL SHALL BE REMOVED BY LICENSED HAZMAT CONTRACTOR.

6. PROVIDE TEMPORARY PROTECTION FOR ANY EXISTING TREES OR LANDSCAPING TO REMAIN.

7. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

8. THE EXISTING BUILDING SHALL BE PROTECTED DURING THE COURSE OF DEMOLITION.

9. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION PRIOR TO COMMENCING DEMOLITION.

10. ALL REQUIRED EXCAVATION SHALL BE CLEARED OF ALL CONCRETE AND ORGANIC MATERIALS PRIOR TO BACKFILLING. ALL EXCAVATION SHALL BE FILLED UNDER THE SUPERVISION OF A SOILS ENGINEER WHERE APPLICABLE OR TO ACCEPTED INDUSTRY STANDARDS.

11. SAW CUT EXISTING CONCRETE TO BE DEMOLISHED WHERE EVER FEASIBLE.

12. OWNER TO RETAIN POSSESSION OF ALL DOORS, WINDOWS, BATHROOM MIRRORS, AND BATHROOM MEDICINE CABINET.

13. DEMOLITION PLAN IS A GRAPHIC REPRESENTATION OF SCOPE OF DEMOLITION BUT IS NOT INTENDED TO BE COMPREHENSIVE. CONTRACTOR TO REVIEW EXISTING CONDITIONS RELATIVE TO SCOPE OF NEW WORK ON ALL ARCHITECTURAL AND STRUCTURAL PLAN FOR ACTUAL DEMOLITION REQUIREMENTS, PRIOR TO FINALIZING BID. CONTACT DESIGNER IN THE EVENT OF ANY CONFLICTS OR DISCREPANCIES.

PROJECT SCOPE:

DEMO (E) KITCHEN, (E) BATHROOM, (E) INTERIOR WALLS, (E) WINDOWS & (E) DOORS.
CONSTRUCT ADDITION TOWARDS THE REAR OF THE PROPERTY TO ACCOMODATE A (N) BATHROOM, (N) PRIMARY SUITE.

PROJECT INFORMATION:

CONSTRUCTION TYPE: V-B

BUILDING EXISTING & UNSPRINKLERED

ZONING: DUPLEX RESIDENTIAL (R-2)

OCCUPANCY: R3

STORIES: 1 STORY

EXISTING UNITS: 1

PARCEL AREA: 9,548 SF

(E) MAIN RESIDENCE: 1,067.9 SF

PROPOSED ADDITION: 231.7 SF

MAIN RESIDENCE AFTER ADDITION: 1,299.6 SF

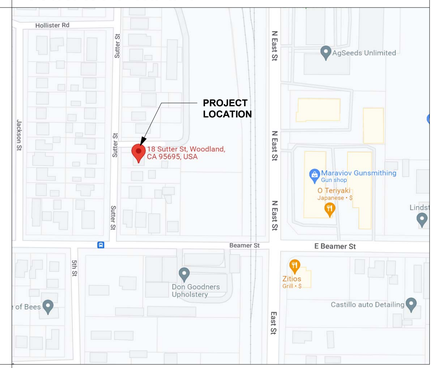
PROJECT DIRECTORY:

PROJECT DESIGNER: MJH DESIGN
MANUEL J. HERNANDEZ
1802 Egret Lane
Hayward, CA 94545
510.600.7926
manuelh10@live.com

STRUCTURAL ENGINEER: Imad Abu-Markhieh
Civil & Structrual Engineering
916.468.3768
markhieh@gmx.com

GENERAL CONTRACTOR: REDWOOD ADU
2635 57th St
Sacramento, CA 95817
916.260.2426
max@redwoodadu.com

VICINITY MAP:



DRAWING INDEX:

Sheet Number	Sheet Name
A0.1	TITLE SHEET
A0.2	SITE PLAN
A2.0	LEVEL 1 PLANS
A2.1	LEVEL 1 PROPOSED
A2.2	LIGHTING PLAN
A2.3	ROOF PLAN
A2.5	ROOF FRAMING & FOUNDATION
A4.0	EXTERIOR ELEVATIONS
A4.1	EXTERIOR ELEVATIONS
A6.0	SCHEDULES
A6.1	CAL GREEN
A9.0	DETAILS
SD1	STRUC NOTES & DETAILS
T24	TITLE 24
T24.0	TITLE 24

ABBREVIATIONS:

&	AND	H.B.	HOSE BIBB
∠	ANGLE	H.C.	HOLLOW CORE
@	AT	HR.	HOUR
℄	CENTERLINE	HGT	HEIGHT
#	POUND OR NUMBER	HWD	HARDWOOD
(E)	EXISTING	INSUL.	INSULATION
(N)	NEW	INT.	INTERIOR
ADJ.	ADJUSTABLE	KIT.	KITCHEN
AGGR.	AGGREGATE	LAM.	LAMINATE
ALUM.	ALUMINUM	LAV.	LAVATORY
APPROX.	APPROXIMATE	MAX	MAXIMUM
ARCH.	ARCHITECTURAL	MECH.	MECHANICAL
ASPH.	ASPHALT	MIN.	MINIMUM
BD.	BOARD	M.O.	MASONRY OPENING
BITUM.	BITUMINOUS	N.I.C.	NOT IN CONTRACT
BLDG.	BUILDING	NO.	NUMBER
BLKG.	BLOCKING	N.T.S.	NOT TO SCALE
BM.	BEAM	O.C.	ON CENTER
CER.	CERAMIC	OPNG.	OPENING
CLG.	CEILING	OPP.	OPPOSITE
CL.	CLOSET	PL.	PLATE
CLMN.	COLUMN	PLYWD.	PLYWOOD
CONC.	CONCRETE	PR.	PAIR
CONT.	CONTINOUS	PT.	POINT
CORR.	CORRIDOR	PART.	PARTITION
CPT	CARPET	P.B.O.	PROVIDED BY OWNER
DET.	DETAIL	R.	RADIUS
DIA.	DIAMETER	R.D.	ROOF DRAIN
DIM.	DIMENSION	REF.	REFRIGERATOR
DN	DOWN	REINF.	REINFORCED
DR.	DOOR	REQ.	REQUIRED
DRWG.	DRAWING	RM.	ROOM
EA.	EACH	R.O.	ROUGH OPENING
E. J.	EXPANSION JOINT	R.W.L.	RAIN WATER LEADER
ELEV.	ELEVATION	S.C.	SOLID CORE
ELEC.	ELECTRICAL	SHT.	SHEET
EQ.	EQUAL	SIM.	SIMILAR
EXT.	EXTERIOR	SPEC.	SPECIFICATION
F. D.	FLOOR DRAIN	SQ.	SQUARE
FIN.	FINISH	S.O.G.	SLAB ON GRADE
FLR.	FLOOR	S.S.D.	SEE STRUCTURAL DRAWINGS
FLUOR.	FLUORESCENT	S.S	STAINLESS STEEL
F. O. C.	FACE OF CONCRETE	STOR.	STORAGE
F. O. F.	FACE OF FINISH	SUSP.	SUSPENDED
F. O. S.	FACE OF STUDS	SYM.	SYMBOL
FT.	FOOT OR FEET	T.O.	TOP OF
FTG.	FOOTING	T.O.C.	TOP OF CURB
FURR.	FURRING	TEL.	TELEPHONE
GA.	GAUGE	T.& G.	TONGUE AND GROOVE
GALV.	GALVANIZED	T.O.W.	TOP OF WALL
GL.	GLASS	TYP.	TYPICAL
GYP.	GYPSUM	U.O.N.	UNLESS OTHERWISE NOTED
		VEST.	VESTIBULE
		W/	WITH
		W.C.	WATER CLOSET
		WD.	WOOD
		W/O	WITHOUT

SYMBOLS:

- # / ### — DETAIL NUMBER / SHEET NUMBER
- # / A.#.# — SECTION
- # / # — DETAIL CALL OUT
- A / D / # / # / B / C — INTERIOR ELEVATION
- # / A.## — ELEVATIONS
- # — WINDOW SYMBOL, SEE WINDOW SCHEDULE
- # — DOOR SYMBOL, SEE DOOR SCHEDULE
- # — KEY NOTE

CODE COMPLIANCE:

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA FIRE CODE
WOOD CITY ORDINANCES

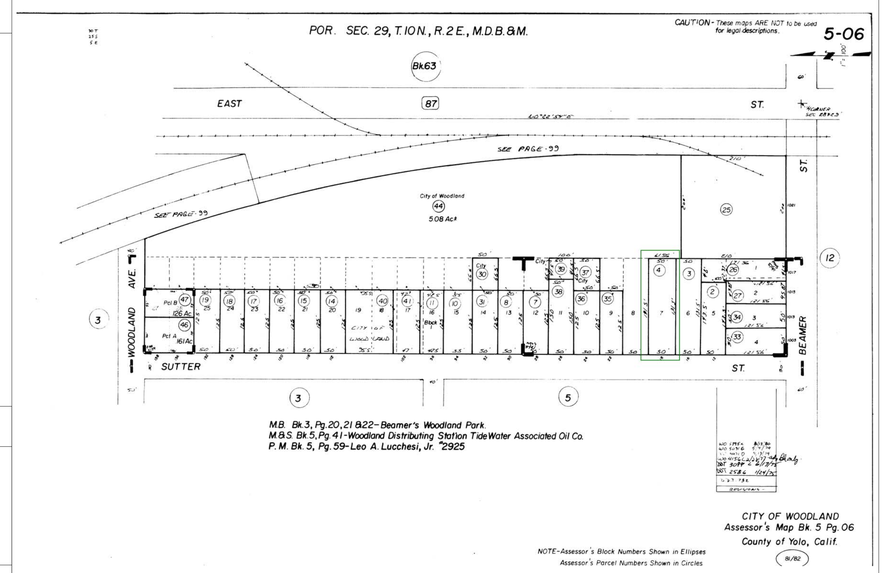
DEFFERED SUBMITTALS:

TRUSS CALCULATIONS SUBMITTAL IS DEFERRED. CONTRACTOR SHALL NOT PROCEED WITH INSTALLATION WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD AND CITY OFFICIALS.

HERS FEATURE SUMMARY:

THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD-VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE FOR THIS COMPUTER ANALYSIS. ADDITIONAL DETAIL IS PROVIDED IN THE BUILDNG TABLES BELOW. REGISTERED CF2RS AND CF3RS ARE REQUIRED TO BE COMPLETED IN THE HERS REGISTRY

- VERIFIED REFRIGERANT CHARGE
- AIRFLOW IN HABITABLE ROOMS (SC3.1.4.1.7)
- VERIFIED HEAT PUMP RATED HEATING CAPACITY
- WALL-MOUNTED THERMOSTAT IN ZONES GREATER THAN 150 FT2 (SC3.4.5)
- DUCTLESS INDOOR UNITS LOCATED ENTIRELY IN CONDITIONED SPACE (SC3.1.4.1.8)



Redwood ADU
Built in California

SIGNATURE:

PROJECT INFO:
RESIDENCE REMODEL

ADDRESS:
18 SUTTER STREET
WOODLAND, CA 95695
APN: 005-060-004

NO.	DESCRIPTION	DATE

PERMIT SET

DRAWING TITLE: TITLE SHEET

DATE: 03.16.2023

DRAWN BY: MJH

SCALE: AS SHOWN

SHEET #: A0.1

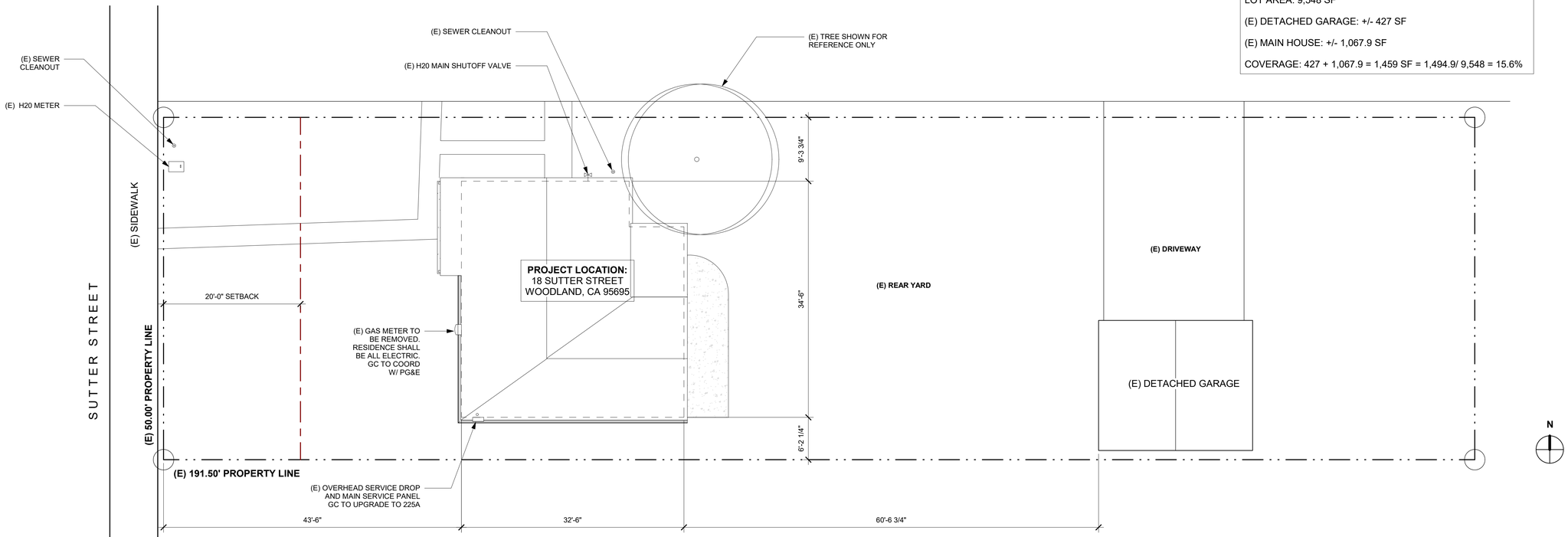
LOT COVERAGE

LOT AREA: 9,548 SF

(E) DETACHED GARAGE: +/- 427 SF

(E) MAIN HOUSE: +/- 1,067.9 SF

COVERAGE: 427 + 1,067.9 = 1,459 SF = 1,494.9/ 9,548 = 15.6%



1 EXISTING SITE PLAN
1/8" = 1'-0"

(N) LOT COVERAGE

LOT AREA: 9,548 SF

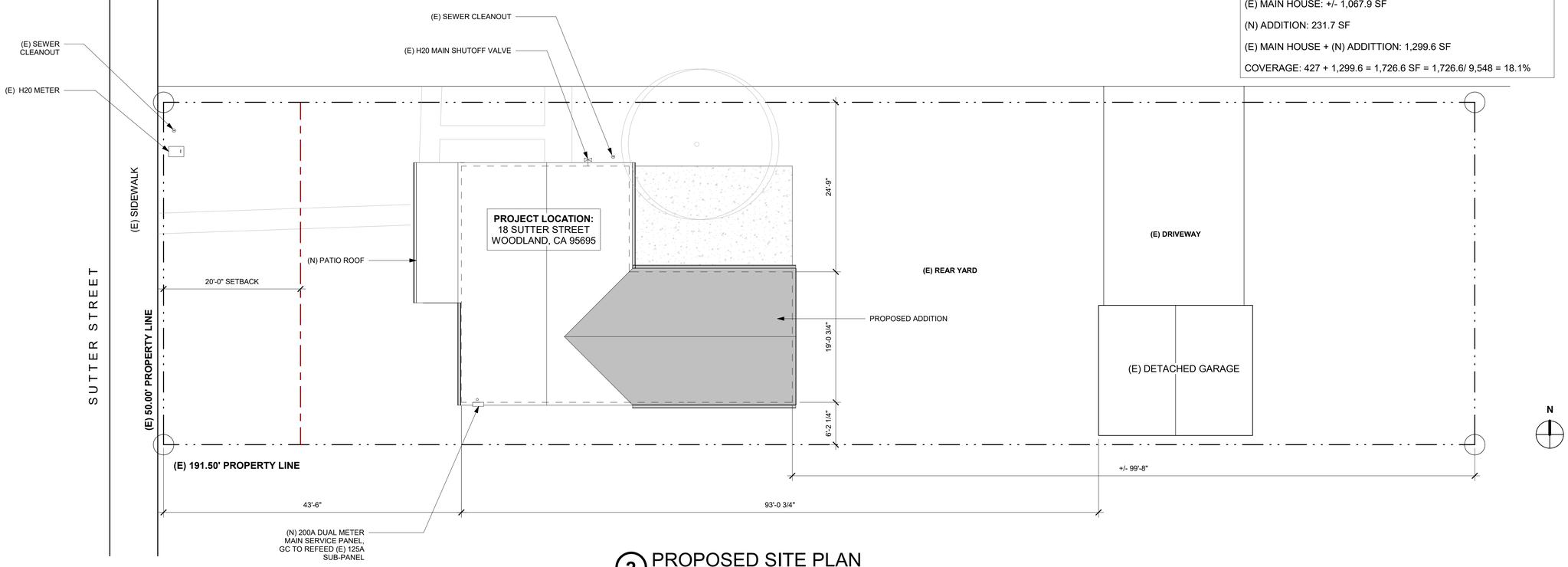
(E) DETACHED GARAGE: +/- 427 SF

(E) MAIN HOUSE: +/- 1,067.9 SF

(N) ADDITION: 231.7 SF

(E) MAIN HOUSE + (N) ADDITTION: 1,299.6 SF

COVERAGE: 427 + 1,299.6 = 1,726.6 SF = 1,726.6/ 9,548 = 18.1%



2 PROPOSED SITE PLAN
1/8" = 1'-0"

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18 SUTTER STREET
WOODLAND, CA 95695
APN: 005-060-004

NO.	DESCRIPTION	DATE

PERMIT SET

DRAWING TITLE:
SITE PLAN

DATE: 03.16.2023

DRAWN BY: MJH

SCALE: AS SHOWN

SHEET #:
A0.2

FLOOR PLAN NOTES

1. INTERIOR WALL AND CEILING FINISHES SHALL NOT EXCEED FLAME SPREAD CLASSIFICATIONS DICTATED BY ALL APPLICABLE BUILDING CODES
2. GYPSUM BOARD AND CEILING SYSTEMS SHALL CONFORM TO ALL LOCAL GOVERNING BUILDING CODES AND ORDINANCES
3. GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY.
4. OUTSIDE RECEPTACLES SHALL BE WEATHER PROOF
5. ALL WINDOWS SHALL BE DUAL PANE
6. ALL NEW DOORS TO BE SOLID CORE SINGLE PANEL WOOD DOORS
7. ALL BEDROOMS AND HALL AREAS THAT ACCESS HABITABLE ROOMS SHALL HAVE SMOKE DETECTORS, HARD WIRED WITH BATTERY BACK UP
8. SMOKE DETECTORS ARE REQUIRED IN EACH ROOM USED FOR SLEEPING, CENTRALLY LOCATED IN THE WALL OR CEILING, IN CORRIDORS PROVIDING ACCESS TO EACH SEPARATE SLEEPING AREA, AT EACH FLOOR OR BASEMENT LEVEL AND IN CLOSE PROXIMITY TO THE STAIRWAY.
9. ALL GLASS AND GLAZING SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AS WELL AS THE US CONSUMER PRODUCT SAFETY COMMISSION, SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS.
10. BATHTUB, SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR PER CRC R307.2
11. PROVIDE 30"x22" ATTIC ACCESS W/ SWITCH AND LIGHT AND RECP
12. THERE SHALL BE A MINIMUM 5% GRADE AWAY FROM ALL FOUNDATION WALLS. CRC R401.3
13. SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SECTION R310.
    A) WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET, WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE HEIGHT 24".

    B) THE BOTTOM **OF THE CLEAR OPENING** SHALL NOT EXCEED 44" ABOVE THE FLOOR. *DO NOT MEASURE TO THE WINDOW SILL*. THIS GENERALLY APPLIES TO WINDOWS THAT HAVE A HEIGHT OF 3' OR LESS.

    C) SUCH OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR A COURT *THAT OPENS TO A PUBLIC WAY* (4-SIDED COURTS ARE PROHIBITED).

    D) IF SUCH OPENINGS OCCUR AT A PATIO, THE PATIO MAY NOT BE ENCLOSED. APPENDIX H, SECTION AH103.2.

    E) THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF ANY KEYS OR TOOLS.

    F) FOR EGRESS OPENINGS AT WINDOW WELLS OR AREA WELLS, REFER TO SECTION R310.2 OR R310.3 FOR REQUIREMENTS

WATER CLOSET REQUIREMENTS

1. THE WATER CLOSET SHALL HAVE A CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT. (2019 CPC 402.5)

2. WHERE THE WATER CLOSET (OR OTHER PLUMBING FIXTURE) COMES INTO CONTACT WITH THE WALL OR FLOOR, THE JOINT SHALL BE CAULKED AND SEALED TO BE WATERTIGHT. (2019 CPC 402.2)

TEMPERED GLAZING (2019 CBC 2406.4, 2403.1 AND CRC R308.1, R308.4)
TEMPERED GLAZING SHALL BE INSTALLED IN THE LOCATIONS LISTED BELOW. TEMPERED GLAZING SHALL BE PERMANENTLY IDENTIFIED BY A MANUFACTURER MARKING THAT IS PERMANENTLY APPLIED AND CANNOT BE REMOVED WITHOUT BEING DESTROYED (E.G. SAND BLASTED, ACID ETCHED, CERAMIC FIRED, LASER ETCHED, OR EMBOSSED).

1. WITHIN A PORTION OF WALL ENCLOSING A TUB/SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET.

2. WITHIN 60 INCHES OF A TUB/SHOWER WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALING SURFACE.

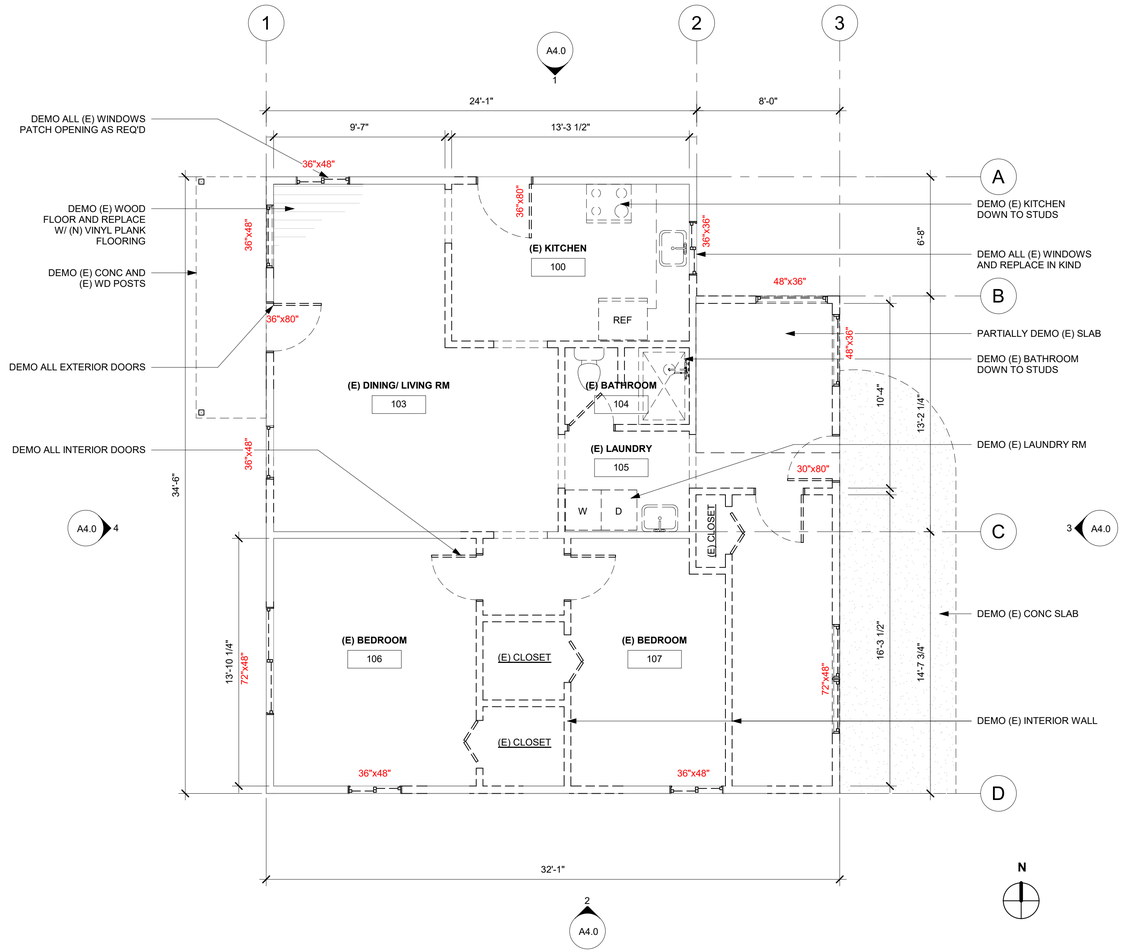
3. GLAZING ON THE HINGE-SIDE OF AN IN-SWINGING DOOR THAT IS INSTALLED PERPENDICULAR TO A DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE DOOR.

GREEN BUILDING NOTES

1. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. THE EFFECTIVE FLUSH VOLUME FOR DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH. (CGBSC SEC.4.303.1.1 AND CPC SEC.403.2.1)
2. SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. (CGBSC SEC.4.303.1.3.1 AND CPC SEC.408.2)
3. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWER HEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. (CGBSC SEC.4.303.1.3.2)
4. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI AND SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI. (CGBSC SEC.4.303.1.4.1 AND CPC SEC.403.7)
5. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW RATE ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. (CGBSC SEC.4.303.1.4.4 AND CPC SEC.403.6)
6. EACH BATHROOM THAT CONTAINS A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR COMPLIANT FAN AND, UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, CONTROLLED BY A HUMIDITY CONTROL. (CRC SEC.R303.3.1, CMC SEC.402.5 AND CGBSC SEC.4.506.1)
7. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 PERCENT OR LESS TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. (CGBSC SEC.4.506.1(A))
8. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E. BUILT-IN). (CGBSC SEC.4.506.1(B))

WALL LEGEND

	WALL TO BE DEMOLISHED
	EXISTING INTERIOR AND EXTERIOR WALL TO REMAIN AS IS. ANY EXTERIOR WALL THAT IS BEING OPENED, INSTALL R21 BATT INSULATION
	NEW WALL INTERIOR: 2x4 W/ 1/2" GYP BD (UON) EXTERIOR: 2x4 W/ 7/8" STUCCO FINISH AT EXTERIOR & 1/2" GYP BD AT INTERIOR



1 LEVEL 1 EXISTING/ DEMO PLAN
1/4" = 1'-0"

Redwood ADU
Built in California

SIGNATURE:

PROJECT INFO:
RESIDENCE REMODEL

ADDRESS:
18 SUTTER STREET
WOODLAND, CA 95695
APN: 005-060-004

NO.	DESCRIPTION	DATE

PERMIT SET

DRAWING TITLE:
LEVEL 1 PLANS

DATE: 03.16.2023

DRAWN BY: MJH

SCALE: AS SHOWN

SHEET #:
A2.0

FLOOR PLAN NOTES

1. INTERIOR WALL AND CEILING FINISHES SHALL NOT EXCEED FLAME SPREAD CLASSIFICATIONS DICTATED BY ALL APPLICABLE BUILDING CODES
2. GYPSUM BOARD AND CEILING SYSTEMS SHALL CONFORM TO ALL LOCAL GOVERNING BUILDING CODES AND ORDINANCES
3. GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY.
4. OUTSIDE RECEPTACLES SHALL BE WEATHER PROOF
5. ALL WINDOWS SHALL BE DUAL PANE
6. ALL NEW DOORS TO BE SOLID CORE SINGLE PANEL WOOD DOORS
7. ALL BEDROOMS AND HALL AREAS THAT ACCESS HABITABLE ROOMS SHALL HAVE SMOKE DETECTORS, HARD WIRED WITH BATTERY BACK UP
8. SMOKE DETECTORS ARE REQUIRED IN EACH ROOM USED FOR SLEEPING, CENTRALLY LOCATED IN THE WALL OR CEILING, IN CORRIDORS PROVIDING ACCESS TO EACH SEPARATE SLEEPING AREA, AT EACH FLOOR OR BASEMENT LEVEL AND IN CLOSE PROXIMITY TO THE STAIRWAY.
9. ALL GLASS AND GLAZING SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AS WELL AS THE US CONSUMER PRODUCT SAFETY COMMISSION, SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS.
10. BATHTUB, SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR PER CRC R307.2
11. PROVIDE 30"x22" ATTIC ACCESS W/ SWITCH AND LIGHT AND RECP
12. THERE SHALL BE A MINIMUM 5% GRADE AWAY FROM ALL FOUNDATION WALLS. CRC R401.3
13. SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SECTION R310.
    A) WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET, WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE HEIGHT 24".

    B) THE BOTTOM **OF THE CLEAR OPENING** SHALL NOT EXCEED 44" ABOVE THE FLOOR. *DO NOT MEASURE TO THE WINDOW SILL*. THIS GENERALLY APPLIES TO WINDOWS THAT HAVE A HEIGHT OF 3' OR LESS.

    C) SUCH OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR A COURT *THAT OPENS TO A PUBLIC WAY* (4-SIDED COURTS ARE PROHIBITED).

    D) IF SUCH OPENINGS OCCUR AT A PATIO, THE PATIO MAY NOT BE ENCLOSED. APPENDIX H, SECTION AH103.2.

    E) THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF ANY KEYS OR TOOLS.

    F) FOR EGRESS OPENINGS AT WINDOW WELLS OR AREA WELLS, REFER TO SECTION R310.2 OR R310.3 FOR REQUIREMENTS

WATER CLOSET REQUIREMENTS

1. THE WATER CLOSET SHALL HAVE A CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT. (2019 CPC 402.5)

2. WHERE THE WATER CLOSET (OR OTHER PLUMBING FIXTURE) COMES INTO CONTACT WITH THE WALL OR FLOOR, THE JOINT SHALL BE CAULKED AND SEALED TO BE WATERTIGHT. (2019 CPC 402.2)

TEMPERED GLAZING (2019 CBC 2406.4, 2403.1 AND CRC R308.1, R308.4)
TEMPERED GLAZING SHALL BE INSTALLED IN THE LOCATIONS LISTED BELOW.
TEMPERED GLAZING SHALL BE PERMANENTLY IDENTIFIED BY A MANUFACTURER MARKING THAT IS PERMANENTLY APPLIED AND CANNOT BE REMOVED WITHOUT BEING DESTROYED (E.G. SAND BLASTED, ACID ETCHED, CERAMIC FIRED, LASER ETCHED, OR EMBOSSED).

1. WITHIN A PORTION OF WALL ENCLOSING A TUB/SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET.

2. WITHIN 60 INCHES OF A TUB/SHOWER WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALING SURFACE.

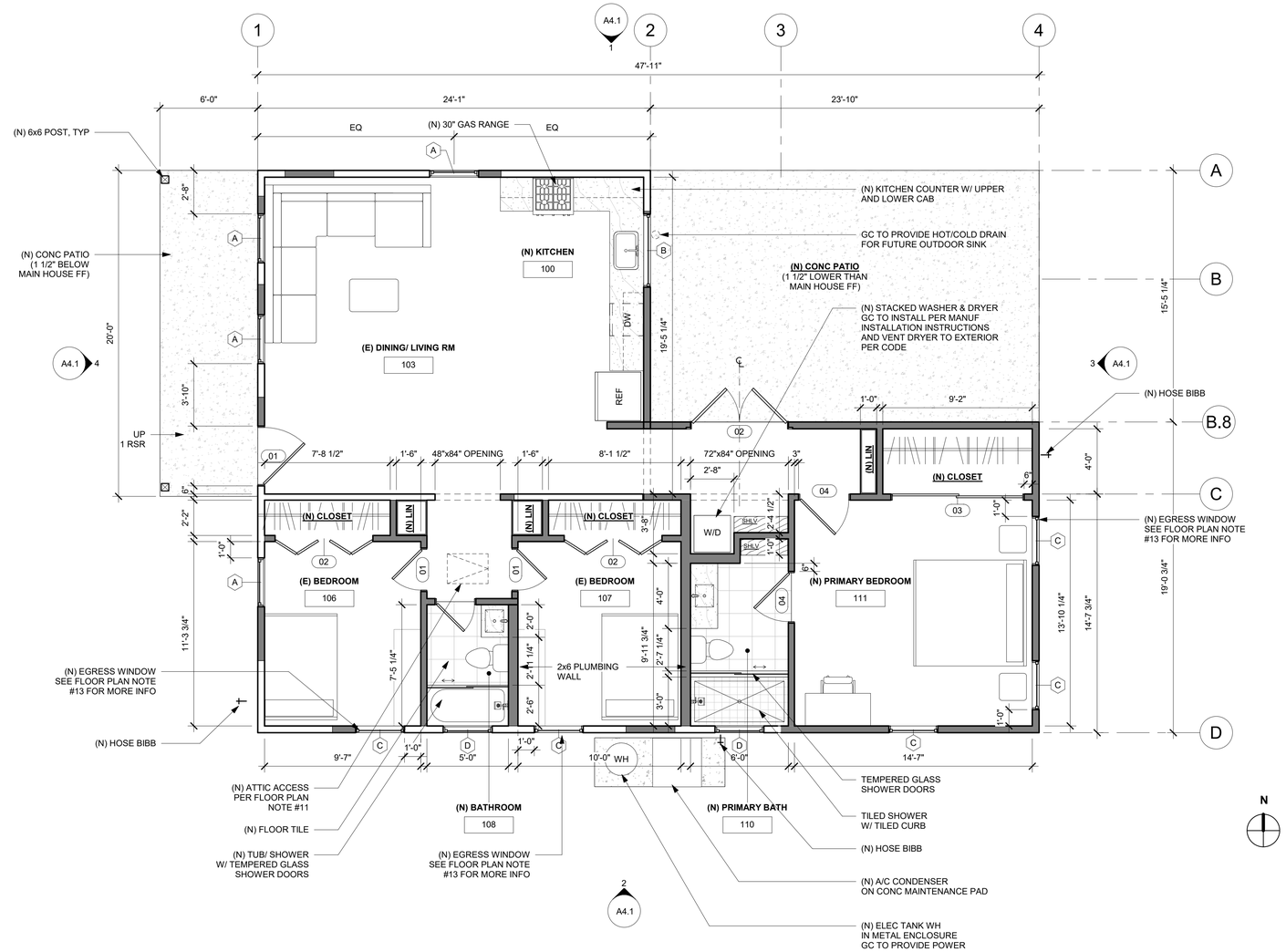
3. GLAZING ON THE HINGE-SIDE OF AN IN-SWINGING DOOR THAT IS INSTALLED PERPENDICULAR TO A DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE DOOR.

GREEN BUILDING NOTES

1. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. THE EFFECTIVE FLUSH VOLUME FOR DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH. (CGBSC SEC.4.303.1.1 AND CPC SEC.403.2.1)
2. SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. (CGBSC SEC.4.303.1.3.1 AND CPC SEC.408.2)
3. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWER HEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. (CGBSC SEC.4.303.1.3.2)
4. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI AND SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI. (CGBSC SEC.4.303.1.4.1 AND CPC SEC.403.7)
5. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW RATE ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. (CGBSC SEC.4.303.1.4.4 AND CPC SEC.403.6)
6. EACH BATHROOM THAT CONTAINS A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR COMPLIANT FAN AND, UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, CONTROLLED BY A HUMIDITY CONTROL. (CRC SEC.R303.3.1, CMC SEC.402.5 AND CGBSC SEC.4.506.1)
7. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 PERCENT OR LESS TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. (CGBSC SEC.4.506.1(A))
8. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E. BUILT-IN). (CGBSC SEC.4.506.1(B))

WALL LEGEND

	WALL TO BE DEMOLISHED
	EXISTING INTERIOR AND EXTERIOR WALL TO REMAIN AS IS. ANY EXTERIOR WALL THAT IS BEING OPENED, INSTALL R21 BATT INSULATION
	NEW WALL INTERIOR: 2x4 W/ 1/2" GYP BD (UON) EXTERIOR: 2x4 W/ 7/8" STUCCO FINISH AT EXTERIOR & 1/2" GYP BD AT INTERIOR



1 LEVEL 1 PROPOSED PLAN
1/4" = 1'-0"

Redwood ADU
Built in California

SIGNATURE:

PROJECT INFO:
RESIDENCE REMODEL

ADDRESS:
18 SUTTER STREET
WOODLAND, CA 95695
APN: 005-060-004

NO.	DESCRIPTION	DATE

PERMIT SET

DRAWING TITLE: LEVEL 1 PROPOSED

DATE: 03.16.2023

DRAWN BY: MJH

SCALE: AS SHOWN

SHEET #: A2.1

LIGHTING LEGEND

P	LED PENDANT LIGHT FIXTURE
	SURFACE MOUNTED LED FIXTURE
	LED RECESSED 5" CAN LIGHT
	LED RECESSED STRIPPED LIGHT UNDER CABINET
	WALL MOUNTED LED LIGHT FIXTURE
SD	HARDWIRED SMOKE DETECTOR
SCM	HARDWIRED SMOKE AND C02 DETECTOR
$	SINGLE POLE SWITCH W/ DIMMER +44" AFF TYP. U.O.N.
$3	3-WAY SWITCH W/ DIMMER + 44" AFF TYP UON
	DUPLEX CONVENIENCE RECEPTACLE GFI +12" AFF TYP UON
	ENERGY STAR RATED FAN W/ SEPARATE SWITCH, HUMIDITY SENSOR & 110 CFM

ELECTRICAL NOTES

1. ALL SWITCHES TO BE DIMMABLE WITH ON/OFF FUNCTION U.O.N.

2. RECESSED LUMINAIRES TO BE ASTM E283 CERTIFIED AND IC RATED.

3. BATHROOM LIGHT FIXTURES TO BE ON OCCUPANCY SENSOR, PER CODE

4. ALL LIGHT FIXTURES TO BE HIGH EFFICACY

5. ELECTRICAL CONVENIENCE OUTLETS SHALL BE LOCATED AT 12' MAX. APART, AND NO MORE THAN 6'-0" FROM THE EDGE OF ANY WALL SURFACE.

6. ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1

7. LIGHTING PER CEC 150 0(K) AND CEC TABLE 150.0-A

8. AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES IS TO BE CONTROLLED BY A VACANCY SENSOR IN ADDITION TO HAVING ALL OF THE LIGHTS IN THESE SPACES TO BE HIGH EFFICACY. CA ENERGY CODE SEC. 150.0(K)2J

9. OUTDOOR LIGHTING IS TO BE HIGH EFFICACY THAT IS CONTROLLED BY AN ON AND OFF SWITCH IN ADDITION TO ONE OF THE FOLLOWING PER CA ENERGY CODE SEC. 150.0(K)3A:
   - a. PHOTOCONTROL AND MOTION SENSOR
   - b. PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL
   - c. ASTRONOMICAL TIME SWITCH CONTROL
   - d. ENERGY MANAGEMENT CONTROL SYSTEM

10. NEW ELECTRICAL RECEPTACLES TO BE TAMPER RESISTANT. CEC ARTICLE 406.12 E2. PLEASE INDICATE THAT ALL BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, LAUNDRY ROOMS, CLOSETS, HALLWAYS, AND SIMILAR ROOMS/SPACES SHALL HAVE A LISTED COMBINATION-TYPE ARC-FAULT CIRCUIT INTERRUPTER (AFCI). CEC ARTICLE 210.12

11. PROVIDE A MINIMUM OF (2) 20 AMP DEDICATED BRANCH CIRCUITS TO THE KITCHEN. CEC ART. 210.11(C)(1)

12. PROVIDE ONE 20 AMP DEDICATED BRANCH CIRCUITS TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET(S). THIS CIRCUIT SHALL HAVE NO OTHER OUTLETS CEC ART. 210.11(C)(2)

13. AT LEAST ONE 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLET(S) AND SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. CEC ARTICLE 210.11(C)(3)

14. SMOKE ALARMS SHALL BE LISTED AS COMPLYING W/ UL 217 & BE INSTALLED AND MAINTAINED IN ACCORDANCE W/ NFPA 720 & THE MANUFACTURER'S INSTRUCTIONS

15. CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING W/ UL 2034 & BE INSTALLED AND MAINTAINED IN ACCORDANCE W/ NFPA 720 & THE MANUFACTURER'S INSTRUCTIONS

16. LAUNDRY RECEPTACLE OUTLET TO BE SUPPLIED BY A DEDICATED 20 AMP BRANCH CIRCTUI PER CEC 210.11(C)(2)

17. PROVIDE A 30 AMP CIRCUIT FOR THE ELECTRIC CLOTHES DRYER. CEC 220.54

18. RECEPTACLE OUTLETS SHALL BE PROVIDED ON WALL SPACES 2 FT OR GREATER

19. SMOKE ALARMS SHALL BE LISTED AS COMPLYING W/ UL 217 & BE INSTALLED AND MAINTAINED IN ACCORDANCE W/ NFPA 720 & THE ANUFACTURER'S INSTRUCTIONS

20. CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING W/ UL 2034 & BE INSTALLED AND MAINTAINED IN ACCORDANCE W/ NFPA 720 & THE MANUFACTURER'S INSTRUCTIONS

21. GC TO COORDINATE ALL OUTLET AND SWITCH LOCATION W/ THE OWNER

PLUMBING NOTES

1. PLUMBING WASTE VENTS SHALL TERMINATE NOT LESS THAN 10 FEET FROM, OR NOT LESS THAN 3 FEET ABOVE, AN OPENABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT, OR NOT LESS THAN 3 FEET IN EVERY DIRECTIN FROM A LOT LINE, ALLEY AND STREET EXCEPTED. CPC 906.2

2. THE GRADE OF HORIZONTAL DRAINAGE PIPE SHALL NOT BE LESS THAN 1/4" PER FOOT CPC 708.1

3. DOMESTIC CLOTHES WASHER STANDPIPE SIZE SHALL BE 2" MIN DIA. CPC TABLE 7-3

4. EACH DOMESTIC CLOTHES WASHER AND EACH LAUNDRY TUB SHALL BE CONNECTED TO A SEPARATE AND INDEPENDENT TRAP, EXCEPT THAT A TRAP SERVING A LAUNDRY TUB SHALL BE PERMITTED TO ALSO RECEIVE THE WASE FROM A CLOTHES WASHER SET ADJACENT THERE TO. NO CLOTHES WASHER OR LAUNDRY TUB SHALL BE CONNECTED TO ANY TRAP FOR A KITCHEN SINK. CPC 1001.3

5. WATER CLOSET TO BE 1.28 GALLONS PER FLUSH MAXIMUM OR DUAL FLUSH PER CPC 411.2.

6. LAVATORY FAUCET TO BE 1.2 GALLONS PER MINUTE MAXIMUM PER CPC 407.2.1.2.

7. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GALLONS (7.5L) PER MINUTE MEASURED AT 80 psi.

8. WHERE A FIXTURE COMES IN CONTACT WITH THE WALL OR FLOOR, THE JOINT BETWEEN THE FIXTURE AND THE WALL FOOR OR SHALL BE MADE WATERTIGHT.

9. INSTALL ENERGY STAR BATH FANS VENTED TO THE OUTSIDE.

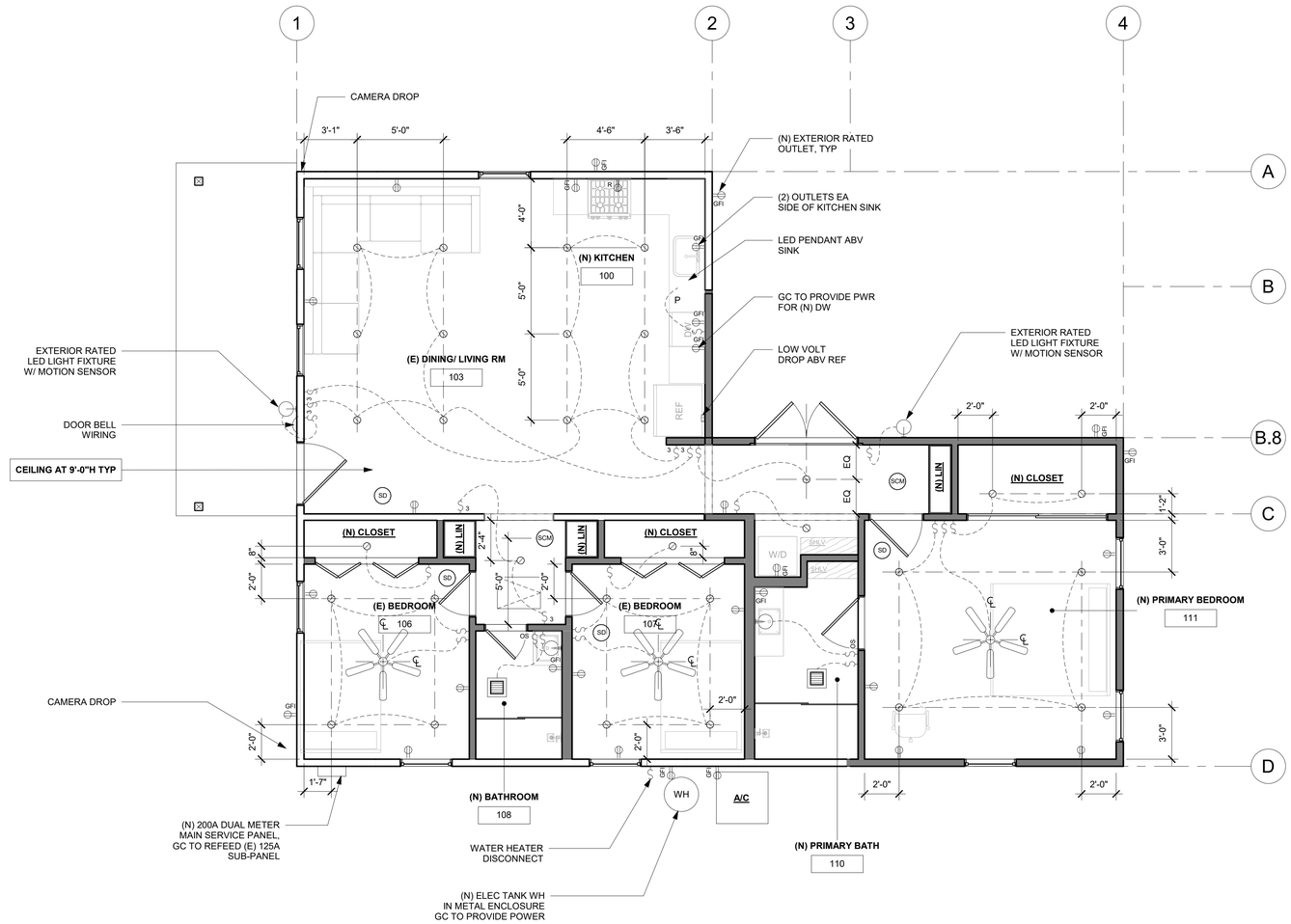
10. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. CRC R307.2

11. GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY CRC R308.4

12. ALL PIPE, FITTINGS, TRAPS, FIXTURES, MATERIALS AND DEVICES USED IN A PLUMBING SYSTEM SHALL BE LISTED OR LABELED (THIRD-PARTY CERTIFIED) BY A LISTING AGENCY AND SHALL BE FREE OF DEFECTS.

MECHANICAL NOTES

1. ALL INTERIOR SPACES TO BE PROVIDED WITH SPACE HEATING PER CBC 1204.1
2. GAS VENTS OF WATER HEATER AND FURNACE SHALL TERMINATE 4'-0" FROM PROPERTY LINE. THEY SHALL NOT TERMINATE ADJACENT TO THE WALL PER CMC 802.6.2.3. WALL TERMINATION SHALL COMPLY WITH CMC 802.8.6
3. CLOTHES DRYER EXHAUST SHALL BE A MIN 4". TERMINATE TO THE OUTSIDE OF THE BUILDING. EQUP WITH BACK-DRAFT DAMPER,
4. CONTINUOUS FAN IN (N) BATH 2 WITH MINIMUM 110 CFM AND 0.5 SONNES
5. COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7. ENV AIR DUCTS SHALL TERMINATE 3' FROM THE PROPERTY LINE AND 3' FROM OPENINGS INTO THE BUILDING PER CMC 504.5. PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1
6. GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC 802.6 & SFMC 802.6.2 THROUGH WAL VENT TERMINATION PER FMC 802.8
7. COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7
8. ENVIRONMENTAL AIR DUCTS SHALL TERMINATE 3'-0" FROM THE PROPERTY LINE AND BACK-DRAFT DAMPERS PER CMC 504.1.1 EXHAUST SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY
9. DOMESTIC RANGE HOOD VENTS SHALL MEET THE REQUIREMENTS OF CMC 504.3 AND COMPLY CMC TABLE 403.7
10. ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1 GC TO CONFIRM EXISTING HEATING IS CODE COMPLIANT
11. DIRECT EVENT APPLIANCES PER CMC 802.2.4 (PER MFG'S INSTALLATION INSTRUCTIONS) AND SFMC 802.6.2
12. MAINTAIN RATED SEPARATION BETWEEN DWELLING UNITS PER CBC 420.3 PENETRATIONS THROUGH HORIZONTAL ASSEMBLIES SHALL COMPLY WITH CBC 714.4 & 717.6



1 PROPOSED RCP
1/4" = 1'-0"

Redwood ADU
Built in California

SIGNATURE:

PROJECT INFO:
RESIDENCE REMODEL

ADDRESS:
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WOODLAND, CA 95695
APN: 005-060-004

NO.	DESCRIPTION	DATE

PERMIT SET

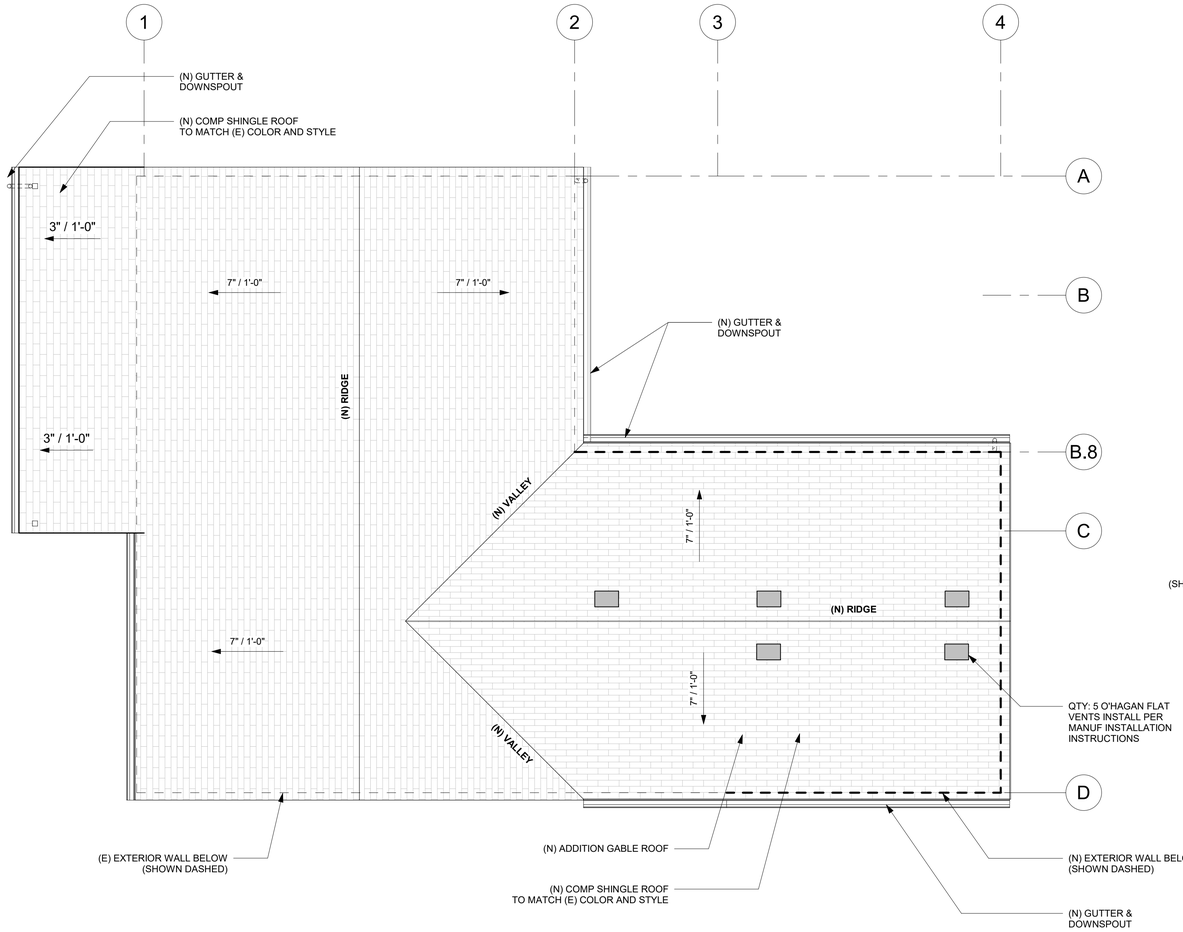
DRAWING TITLE:
LIGHTING PLAN

DATE: 03.16.2023

DRAWN BY: MJH

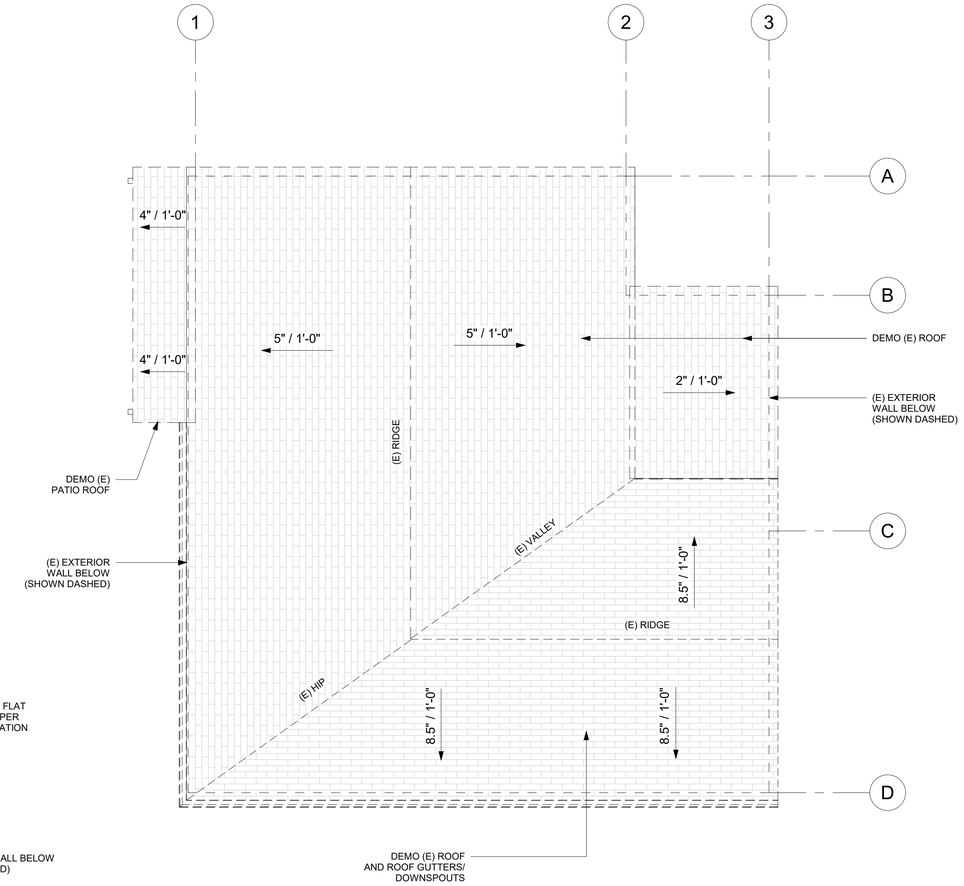
SCALE: AS SHOWN

SHEET #:
A2.2



2 PROPOSED ROOF PLAN

1/4" = 1'-0"



1 EXISTING ROOF PLAN

1/4" = 1'-0"

ROOF VENT CALCULATION:

ROOF AREA: 335.6 SF

TOTAL NET FREE VENTILATING AREA: 335.6/150= 2.2 SQ FT

ROOF REQUIRED VENT AREA: 2.2 SQ FT

VENT TYPE:
O'HAGIN FLAT VENT, N.F.A.= 72 SQ. IN. = 0.5 S.F
5 x O'HAGIN VENTS = 0.5 x 5 = 2.5

2.5 > 2.2 VENT AREA PROVIDED IS GREATER THAN REQUIRED

NOTES:

1. FOR INFO NOT NOTED SEE A2.0 & A2.1

2. ALL NEW CEILINGS EXPOSED TO UNCONDITIONED SPACE SHALL BE INSULATED WITH MIN R-30 INSULATION.

3. OPENINGS FOR ALL VENTS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH 1/4" OPENING DIMENSIONS

4. ALL NEW ROOF MATERIAL TO MATCH (E) MAIN HOUSE, UON

5. EXPOSED ROOF DECK ON THE UNDERSIDE OF UNINCLOSED ROOF EAVES SHALL CONSIST ONE LAYER OF 5/8" TYPE X APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF ROOF DECK. (CRC 337.7.4)

6. DOWNSPOUTS MAY DRAIN TO SPLASH BLOCKS, COBBLESTONES, OR SWALES THAT DIRECT WATER AWAY FROM THE BUILDING

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NO.	DESCRIPTION	DATE

PERMIT SET

DRAWING TITLE:
ROOF PLAN

DATE: 03.16.2023

DRAWN BY: MJH

SCALE: AS SHOWN

SHEET #:
A2.3

FOOTING SCHEDULE				
FOOTING #	SIZE	REINFORCING	DISCRIBTION	POINT CAPCITY
F1	12" CONTUNIOUS	#4 TOP & #4 BOTTOM	STRIP FOOTING	5000 lb.

1. UNO, ALL PERIMETER AND INTERIOR STRP FOOTINGS ARE TYPE F1
2. REINFORCEMENT SHALL HAVE MIN 3" CLEARANCE WHEN POURED AGAINST SOIL
3. **FOOTING DEPTH:** UNO, ALL STRIP FOOTINGS SHALL BE POURED MIN 12" BELOW LOWEST FINISH GRADE ON COMPETENT ORIGINAL GROUND.
4. ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED ORIGINAL SOIL. IF FILL IS NEEDED PROVIDE STRUCTURAL FILL COMPOSED OF CRUSHED ROCK OR SAND/GRAVEL MIX COMPACTED TO 90% RELATIVE COMPACTION PER ASTM D-1557 TEST. EXTEND FILL FROM LOWER CORNER OF FOOTING OUTWARD AT 1:1 SLOPE FOR DEPTH OF FILL.
5. DESIGN SOIL PRESSURE =1500 PSF
6. TYP STEM WIDTH .....6" @ 1 STORY PLANS
   8" @ 2 STORY PLANS

CONCRETE SLAB NOTES

A. FOR INTERIOR SLABS, USE 4" CONCRETE SLAB W/ MIN. #3 BARS @ 18" OC EA WAY, CENTERED IN SLAB, OVER MINIMUM 10 MIL VAPOR RETARDER, OVER 4" GRAVEL BASE, OVER PREPARED SUB-GRADE
B. FOR GARAGE SLABS, USE 4" CONCRETE SLAB W/ MIN. #3 BARS @ 18" OC EA WAY, CENTERED IN SLAB, OVER OPTIONAL 10MIL POLYETHYLENE VAPOR BARRIER OVER 4" GRAVEL BASE, OVER PREPARED SUB-GRADE.
C. FOR EXTERIOR CONCRETE FLAT WORK, USE MIN. 4" THICK CONCRETE SLAB W/ MIN. #3 BARS @ 18" OC EA WAY, CENTERED IN SLAB, SLOPED ¼" PER l'-0 " AWAY FROM STRUCTURE.

BEAM SCHEDULE	
MEMBER	SPECIFICATIONS
Front Patio Roof RR1	2 x 4 DF No.2 Rafters @ 24" OC.
Front Patio Side Header BM1	1 piece(s) 4 x 10 DF No.1
All Other Headers 6' max HDR	1 piece(s) 4 x 6 DF No.2

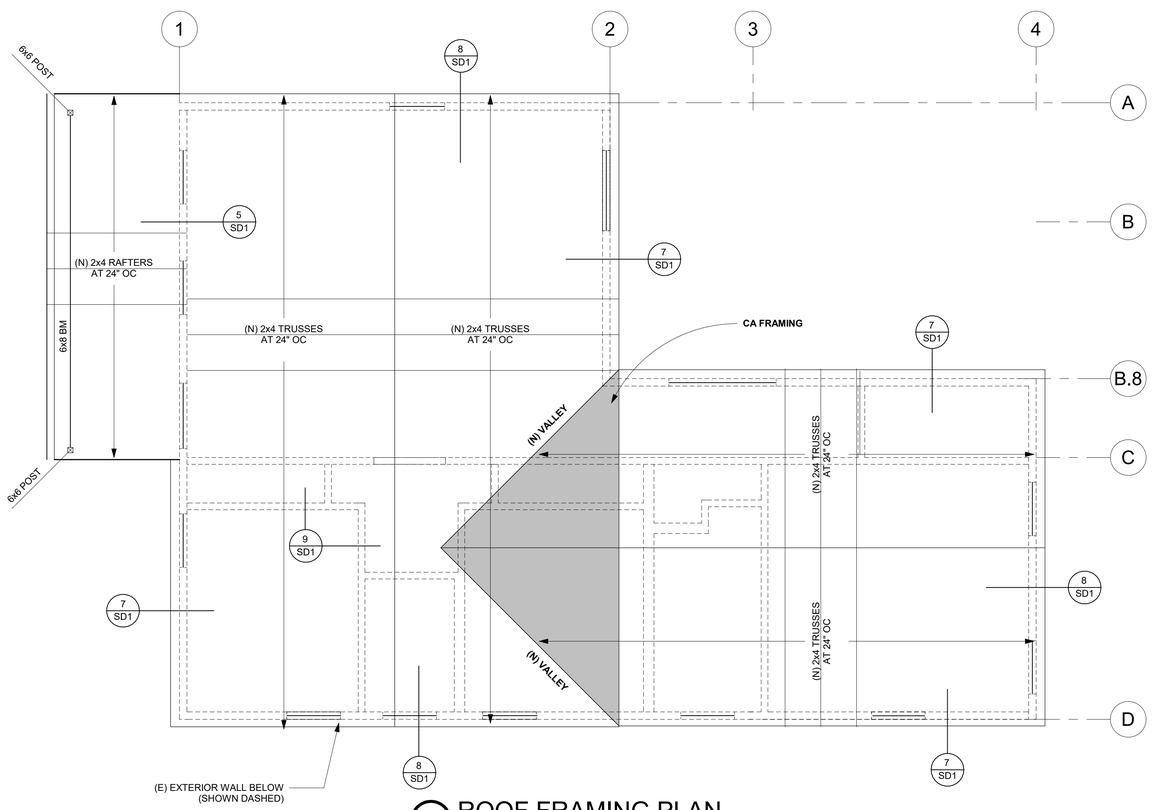
NOTES:
P2 –4x4 POST MIN.

TRUSS NOTES

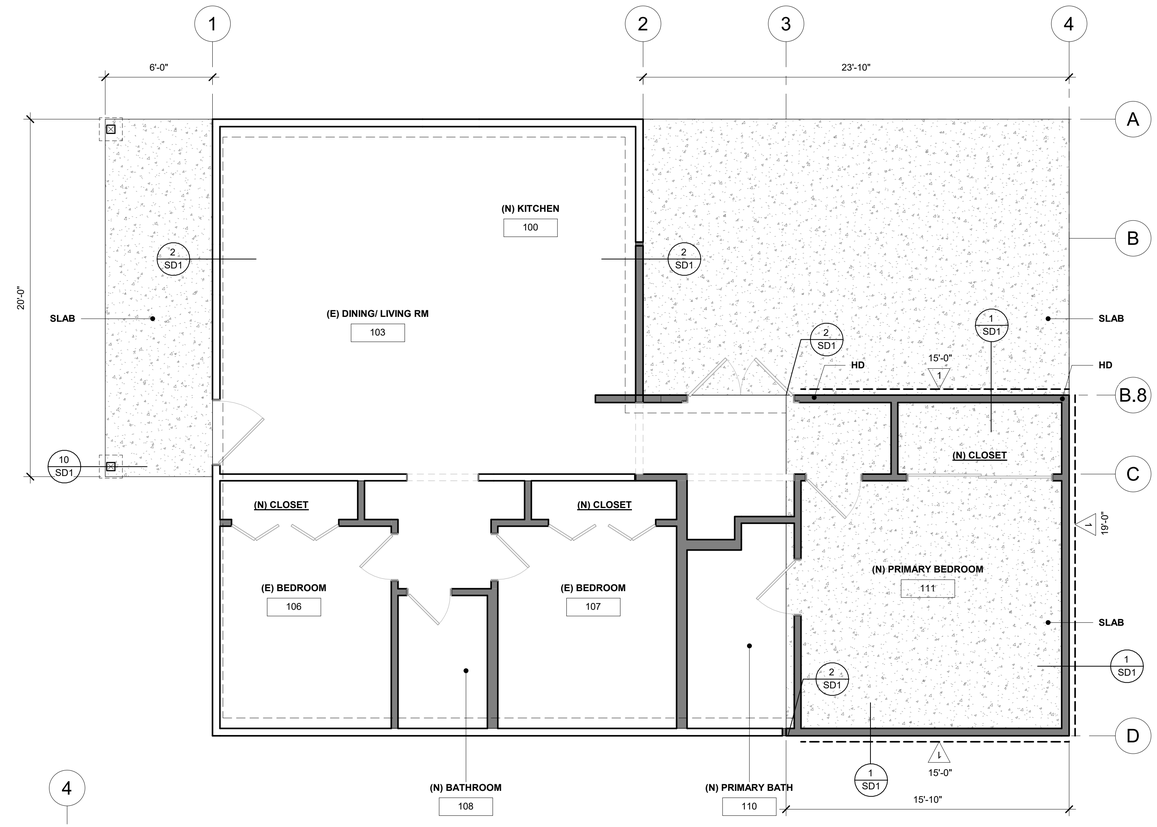
A. ALL TRUSS CONNECTIONS ARE AS FOLLOWS UNO ON PLAN OR TRUSS MFR LAYOUTS:

TRUSS TYPE	CONNECTION
SINGLE PLY NON-GIRDER W/ MAX SPAN OF 8' – 0"	LUS24, HANGER
SINGLE PLY W/SPAN GREATER THAN 8'-0"	HUS26, HANGER
SINGLE PLY GIRDER	HUS26, HANGER
TWO PLY GIRDERS	HGUS26-2 HANGER
THREE PLY GIRDERS	HGUS28-3 HANGER

B. ALL SINGLE-PLY TRUSSES TO HAVE SIMPSON HI OR H2.5A CLIPS @ ALL TOP PLATE OR DROPPED BEAM BEARING POINTS.
C. ALL MULT I-PLY TRUSSES TO HAVE SIMPSON LGT CLIPS TO FIT NO. OF PLYS @ ALL TOP PLATE OR DROPPED BEAM BEARING POINTS.



2 ROOF FRAMING PLAN
1/4" = 1'-0"



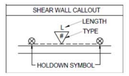
1 FOUNDATION PLAN
1/4" = 1'-0"

SHEAR WALL SCHEDULE

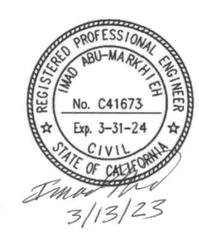
SHEARWALL NAILING & TRANSFERS							All Values Conforming to the CBC		
	DESCRIPTION			NAILING1		ANCHOR BOLTS 2	SHEAR TRANSFERS		
SW No.	MATERIALS5	BOTH SIDES	HOLD DOWN POST	SIZE	SPACING EN-FN	SPACING	TOP PLATE CONNECTOR3, RBC, LPT or A35	SILL PLATE NAILS 4	STRAP 6
1	3/8" CONTINUOUS. OSB OR PLYWOOD SHEATHING	N	(2)2x or 4x	8d	6"-12"	5/8" @ 48"	@24" o /c	16d @ 9" o/c	
E	EXISTING BRACED WALL. CONTRACTOR TO VERIFY IT COMPLIES WITH CRC TABLE R602.10.4 BRACING METHODS.								

FOOTNOTES:
1- ALL SHEAR WALLS TO BE FULLY BLOCKED.
2- PROVIDE 0.229" THICK X 3" SQUARE, FLAT PLATE WASHERS AT ALL ANCHOR BOLTS.
3- FOR WALLS WHICH BEAR TRUSSES; H-1 CLIP, FROM TRUSS TO TOP PLATE, MAY BE USED IN PLACE OF A35 TOP PLATE CONNECTOR.
4- USE RBC @ 3X SILL PLATE TO RIM JOIST OR SOLID BLOCKING WITH SPACING PER "TOP PLATE CONNECTOR".
5- 3/8" OSB OR PLYWOOD W/ 1" TIGHTER EDGE NAILING MAY BE USED IN LIEU OF 7/16" OSB OR PLYWOOD
6- **N/A.**

HOLDOWN KEY:
None



ANCHOR BOLT NOTE:
1- ALL PARAMETER FOOTING SILL PLATES SHALL HAVE ½" ANCHOR BOLTS EMBEDDED 7" MINIMUM AND SPACED AT 6 FEET O.C. MAX UNLESS NOTED OTHERWISE ON SHEAR WALL SCHEDULE.
2- BOLTS SHALL BE A MAXIMUM OF 12" FROM SILL ENDS AND SPLICES WITH A MINIMUM OF 2 BOLTS PER SPLICE.
3- USE 3" X 3" X 0.229" THICK FLAT PLATE WASHERS WITH ½" MAXIMUM EDGE DISTANCE FROM SHEATHING AT EACH ANCHOR BOLT.
4- IF THE FOUNDATION WAS NOT POURED MONOLITHICALL, MINIMUM EMBEDMENT REQUIREMENT SHOULD BE APPLIED TO THE FIRST POUR OR PLACE VERTICAL DOWEL PER ENGINEER RECOMMENDATION OR ADD VERTICAL #4 DOWELS AT 16" OC WITH 12" MINIMUM EMBEDMENT.



Redwood ADU
Built in California

SIGNATURE:

PROJECT INFO:
RESIDENCE REMODEL

ADDRESS:
18 SUTTER STREET
WOODLAND, CA 95695
APN: 005-060-004

NO.	DESCRIPTION	DATE

PERMIT SET

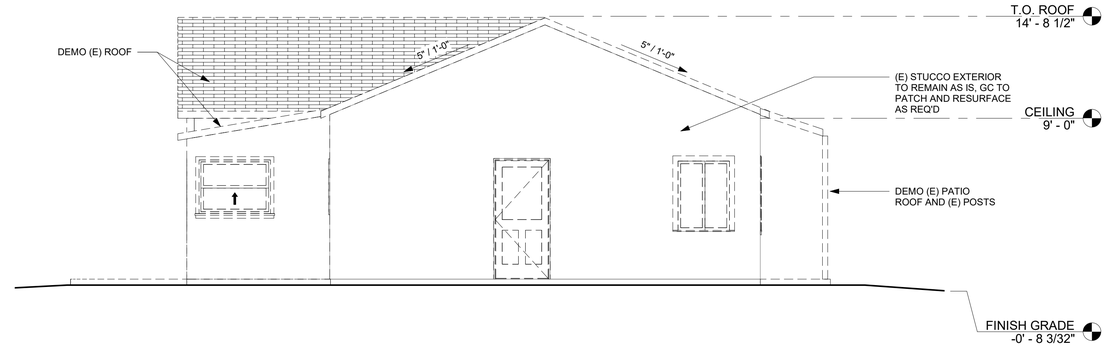
DRAWING TITLE:
ROOF FRAMING & FOUNDATION

DATE: 03.16.2023

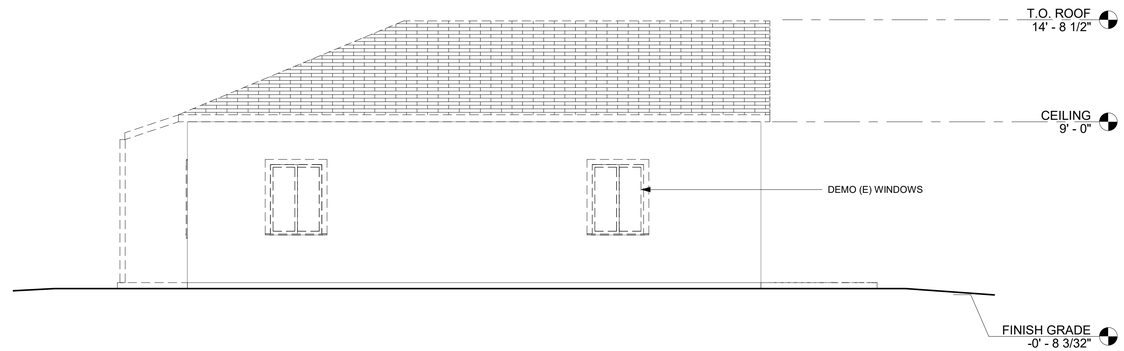
DRAWN BY: 02.13.2023

SCALE: AS SHOWN

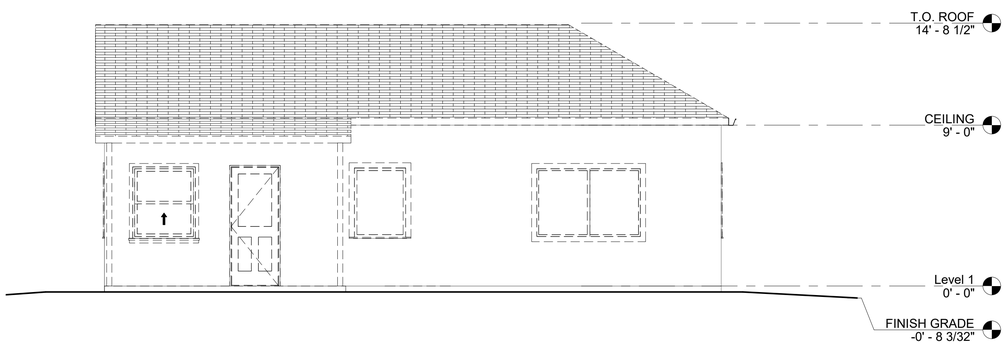
SHEET #: A2.5



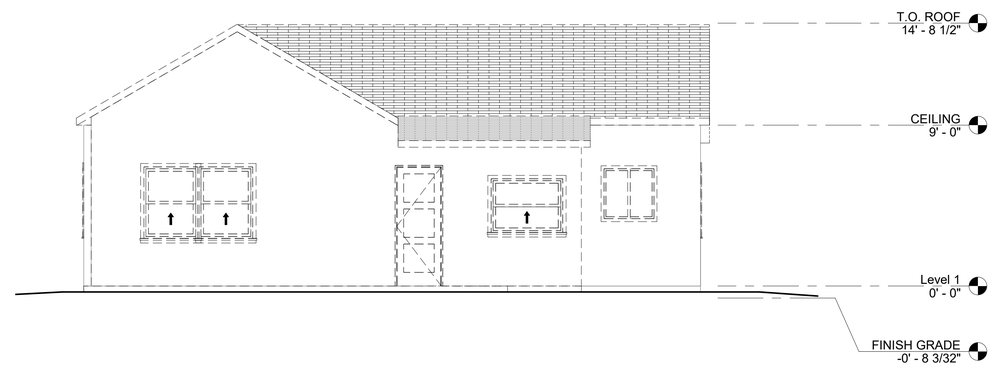
1 EXISTING NORTH ELEV
1/4" = 1'-0"



2 EXISTING SOUTH ELEV
1/4" = 1'-0"



4 EXISTING WEST ELEV
1/4" = 1'-0"



3 EXISTING EAST ELEV
1/4" = 1'-0"

Redwood ADU
Built in California

SIGNATURE:

PROJECT INFO:
RESIDENCE REMODEL

ADDRESS:
18 SUTTER STREET
WOODLAND, CA 95695
APN: 005-060-004

NO.	DESCRIPTION	DATE

PERMIT SET

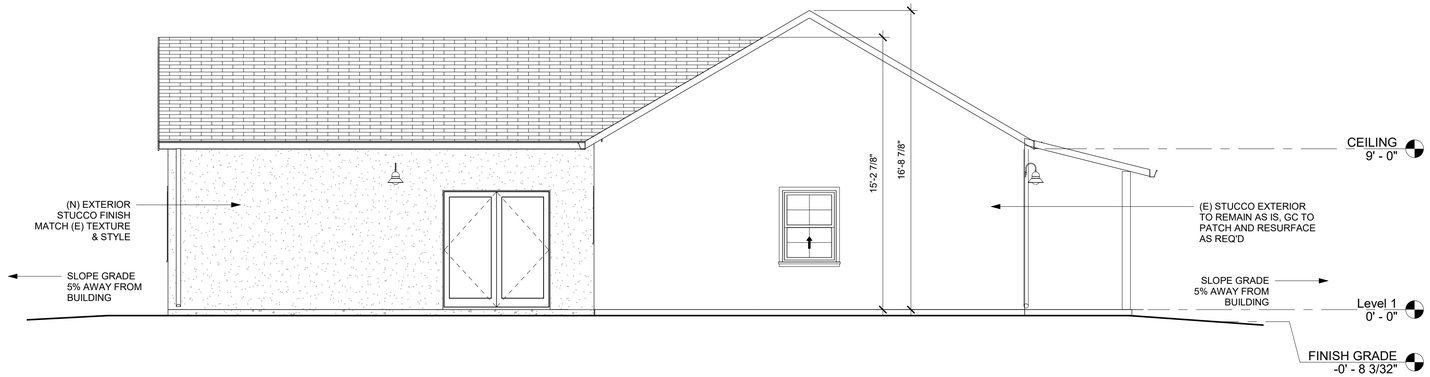
DRAWING TITLE:
EXTERIOR ELEVATIONS

DATE: 03.16.2023

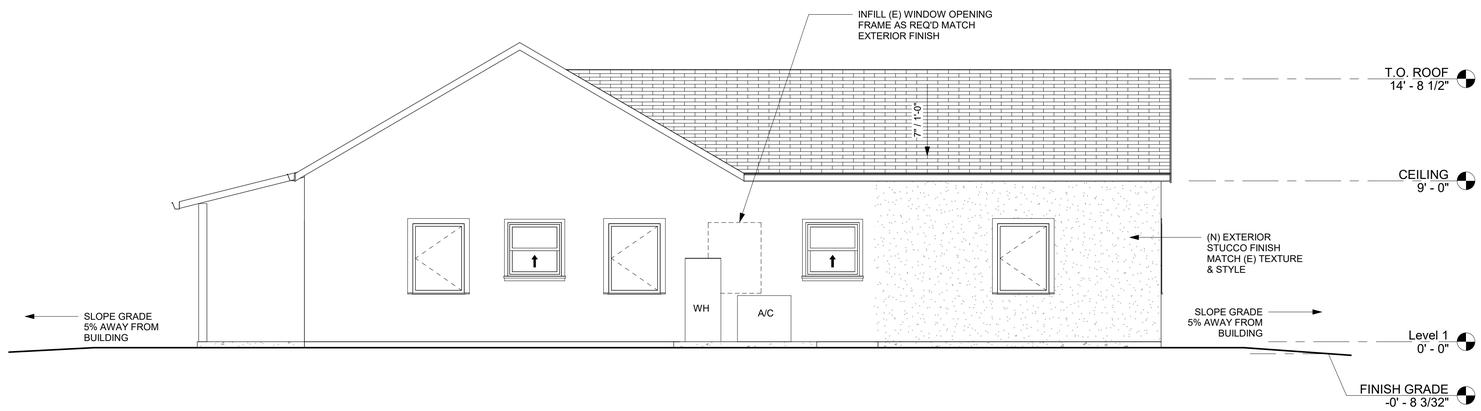
DRAWN BY: MJH

SCALE: AS SHOWN

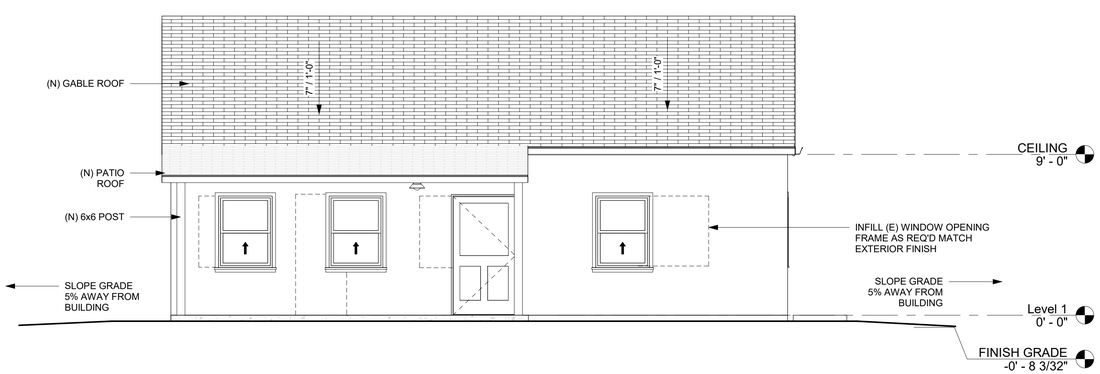
SHEET #:
A4.0



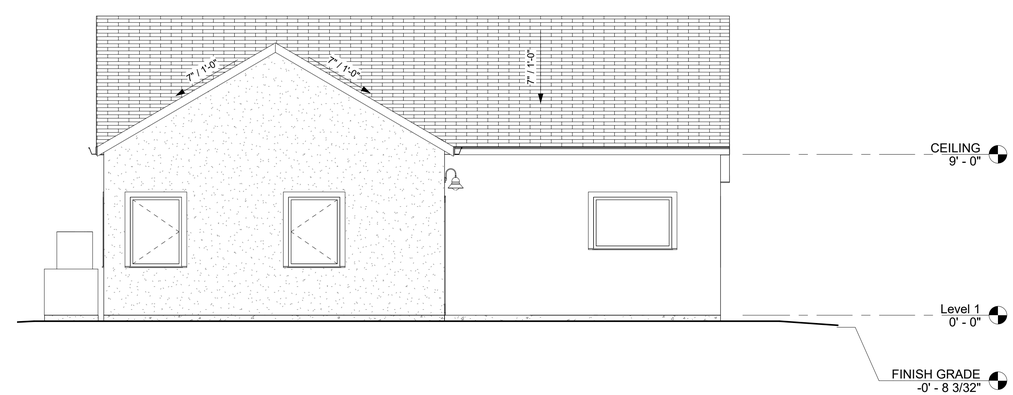
1 PROPOSED NORTH ELEV
1/4" = 1'-0"



2 PROPOSED SOUTH ELEV
1/4" = 1'-0"



4 PROPOSED WEST ELEV
1/4" = 1'-0"



3 PROPOSED EAST ELEV
1/4" = 1'-0"

Redwood ADU
Built in California

SIGNATURE:

PROJECT INFO:
RESIDENCE REMODEL

ADDRESS:
18 SUTTER STREET
WOODLAND, CA 95695
APN: 005-060-004

NO.	DESCRIPTION	DATE

PERMIT SET

DRAWING TITLE:
EXTERIOR ELEVATIONS

DATE: 03.16.2023

DRAWN BY: MJH

SCALE: AS SHOWN

SHEET #:
A4.1

WINDOW SHEDULE

Type Mark	OPERATION	MFG	Width	Height	SILL HEIGHT	SHGC (MAX)	HEAT TRANSFER COEFFICIENT (U MAX)	HARDWARE	FINISH	SCREEN	TEMPERED	NOTES
A	SINGLE HUNG	TBD	3' - 0"	4' - 0"	2' - 8"	0.23	0.3000 BTU/(h·ft²·°F)	STANDARD	WHITE	Yes		
C	CASEMENT	TBD	3' - 0"	4' - 0"	2' - 8"	0.23	0.3000 BTU/(h·ft²·°F)	STANDARD	WHITE	Yes		
C	CASEMENT	TBD	3' - 0"	4' - 0"	2' - 8"	0.23	0.3000 BTU/(h·ft²·°F)	STANDARD	WHITE	Yes		
C	CASEMENT	TBD	3' - 0"	4' - 0"	2' - 8"	0.23	0.3000 BTU/(h·ft²·°F)	STANDARD	WHITE	Yes		
C	CASEMENT	TBD	3' - 0"	4' - 0"	2' - 8"	0.23	0.3000 BTU/(h·ft²·°F)	STANDARD	WHITE	Yes		
D	SINGLE HUNG	TBD	3' - 0"	3' - 0"	3' - 8"	0.3	0.2300 BTU/(h·ft²·°F)	STANDARD	WHITE	Yes	Yes	
D	SINGLE HUNG	TBD	3' - 0"	3' - 0"	3' - 8"	0.3	0.2300 BTU/(h·ft²·°F)	STANDARD	WHITE	Yes	Yes	
A	SINGLE HUNG	TBD	3' - 0"	4' - 0"	2' - 8"	0.23	0.3000 BTU/(h·ft²·°F)	STANDARD	WHITE	Yes		
A	SINGLE HUNG	TBD	3' - 0"	4' - 0"	2' - 8"	0.23	0.3000 BTU/(h·ft²·°F)	STANDARD	WHITE	Yes		
A	SINGLE HUNG	TBD	3' - 0"	4' - 0"	2' - 8"	0.23	0.3000 BTU/(h·ft²·°F)	STANDARD	WHITE	Yes		
B	FIXED	TBD	4' - 6"	3' - 0"	3' - 8"	0.23	0.3000 BTU/(h·ft²·°F)		WHITE			
C	CASEMENT	TBD	3' - 0"	4' - 0"	2' - 8"	0.23	0.3000 BTU/(h·ft²·°F)	STANDARD	WHITE	Yes		

EXTERIOR DOOR SCHEDULE

MARK	OPERATION	MFG	WIDTH	HEIGHT	GLASS	HARDWARE	FINISH	COMMENTS
01	SWING	TBD	3' - 6"	6' - 8"				
02	SWING, DOUBLE	TBD	6' - 0"	6' - 8"	TEMPERED	STANDARD		

INTERIOR DOOR SCHEDULE

MARK	OPERATION	MFG	WIDTH	HEIGHT	GLASS	HARDWARE	FINISH	COMMENTS
01			2' - 6"	6' - 8"				
01			2' - 6"	6' - 8"				
02			6' - 0"	6' - 8"				
02			6' - 0"	6' - 8"				
03			8' - 0"	6' - 8"				
04			3' - 0"	6' - 8"				
04			3' - 0"	6' - 8"				

Redwood ADU
Built in California

SIGNATURE:

PROJECT INFO:
RESIDENCE REMODEL

ADDRESS:
18 SUTTER STREET
WOODLAND, CA 95695
APN: 005-060-004

NO.	DESCRIPTION	DATE

PERMIT SET

DRAWING TITLE:
SCHEDULES

DATE: 03.16.2023

DRAWN BY: MJH

SCALE: AS SHOWN

SHEET #:
A6.0

STATE OF CALIFORNIA – DEPARTMENT OF GENERAL SERVICES – BUILDING STANDARDS COMMISSION
CALGreen Verification Guidelines – Tier 1 Checklist
BSC CG-201 (Rev. 12/17-2016 Intervening Code Supplement effective July 1, 2018)

CALGreen VERIFICATION GUIDELINES TIER 1 CHECKLIST

Application: This checklist shall be used for nonresidential projects that meet the following: new construction, or building additions of 1,000 sq. ft. or greater, or building alterations with a permit valuation of $200,000 or more pursuant to *CALGreen* Section 5.301.3, AND are adopting Tier 1 voluntary measures.

Note: All applicable mandatory requirements in chapter 5 shall be met prior to applying Tier 1 voluntary measures.

Instructions:

Comply with all Tier 1 (prerequisite) measures from the various categories shown on the table below.

Add a "Y" to all Mandatory and Tier 1 mandatory provisions in the appropriate columns.

Select the required number of additional electives from those categories shown on the table below and add a "Y" on the selected elective and add an "N" on the rest.

Count the total number of Tier 1 (prerequisite) measures plus the additional electives and write down the total number at the end of the checklist. Determine if the required number of Tier 1 measures have been selected to achieve Tier 1 compliance.

Y = Yes (section has been selected and/or included)
N = No (section has not been selected and/or included)
O = Other (provide explanation)
[N] = New construction pursuant to Section 301.3
[A] = Additions and/or alterations pursuant to Section 301.3

CHAPTER 5 DIVISIONS		SECTION TITLE	CODE SECTION	Y	N	O	Plan sheet, Spec or Attach Reference
DIVISION 5.1 Planning and Design	Mandatory	Storm Water Pollution Prevention for projects that disturb less than 1 acre of land	5.106.1 Through 5.106.1.2				
	Mandatory	Short Term Bicycle Parking (with exceptions)	5.106.4.1.1				
	Mandatory	Long Term Bicycle Parking	5.106.4.1.2 Through 5.106.4.1.5				
	Mandatory	Designated Parking for clean air vehicles	5.106.5.2				
	Tier 1 Prerequisite	*Designated Parking - 10% of Parking Capacity w/ parking stall markings and stall identification*	*A5.106.5.1 A5.106.5.1.1 A5.106.5.1.3 A5.106.5.1.4*				
	Mandatory	Parking stall marking	5.106.5.2.1				
	Mandatory	Single (EV) Charging space requirements	5.106.5.3.1				
	Mandatory	Multiple (EV) Charging space requirements[N]	5.106.5.3.2				
	Tier 1 Prerequisite	*Electric Vehicle (EV) Charging [N] w/ associated electrical panel Identification and designated parking allowance*	*A5.106.5.3 A5.106.5.3.1 A5.106.5.3.3 A5.106.5.3.4*				
	Mandatory	EV charging space calculation [N] (with exceptions)	5.106.5.3.3				
	Mandatory	[N] Identification	5.106.5.3.4				
	Mandatory	[N] Future charging spaces (with notes 1-3)	5.106.5.3.5				
	Mandatory	Light Pollution Reduction [N] (exceptions and note).	5.106.8				
	Mandatory	Grading and Paving, w/exception for Additions and Alterations not altering the drainage path	5.106.10				
	Tier 1 Prerequisite	*Cool Roof (Table A5.106.11.2.2): SRI 75 when < or = 2:12, SRI 16 when >2:12*	*A5.106.11.2*				
	Mandatory	Universal waste [A]	5.408.2				
	Mandatory	Excavated soil and land clearing debris w/ exceptions and notes	5.408.3				
	Tier 1 Prerequisite	*Enhanced construction waste reduction 65% – Tier 1 w/ verification*	*A5.408.3.1 A5.408.3.1.2*				
	Mandatory	Recycling by Occupants (with exception)	5.410.1				
	Mandatory	Recycling by Occupants: Additions(with exception)	5.410.1.1				
	Mandatory	Recycling by Occupants: Sample ordinance	5.410.1.2				
	Mandatory	Commissioning new buildings (≥ 10,000 SF) [N] w/exceptions and notes	5.410.2				
	Mandatory	Owner's or Owner representative's Project Requirements (OPR) [N]	5.410.2.1				
	Mandatory	Basis of Design (BOD) [N]	5.410.2.2				
	Mandatory	Commissioning Plan [N]	5.410.2.3				
	Mandatory	Functional Performance Testing [N]	5.410.2.4				
	Mandatory	Documentation and Training [N]	5.410.2.5				
	Mandatory	Systems Manual [N]	5.410.2.5.1				
	Mandatory	Systems Operation Training)] [N]	5.410.2.5.2				
	Mandatory	Commissioning Report [N]	5.410.2.6				
	Mandatory	Testing and adjusting for new buildings < 10,000 SF or new systems that serve additions or alterations.	5.410.4				
	Mandatory	System Testing Plan for HVAC, Lighting, water heating, renewable energy, landscape irrigation and water reuse.	5.410.4.2				
	Mandatory	Procedures for testing and adjusting	5.410.4.3				
	Mandatory	HVAC balancing	5.410.4.3.1				
	Mandatory	Reporting for testing and adjusting	5.410.4.4				
	Mandatory	Operation and Maintenance (O&M) Manual	5.410.4.5				
	Mandatory	Inspection and reports	5.410.4.5.1				
	SELECT ONE ELECTIVE *(see next page for more options)*	*Elective*	*Wood framing or OVE w/ note*	*A5.404.1 A5.404.1.1 A5.404.1.2*			
		Elective	*Regional materials*	*A5.405.1*			
		Elective	*Bio-based materials*	*A5.405.2*			
		Elective	*Rapidly renewable materials*	*A5.405.2.2*			
		Elective	*Reused materials w/ note*	*A5.405.3*			
		Elective	*Cement and concrete: Cement*	*A5.405.5.1*			
		Elective	*Cement and concrete: Concrete /w SCM & Mix design equation*	*A5.405.5.2 A5.405.5.2.1 A5.405.5.2.1.1*			
		Elective	*Cement and concrete: Additional means of compliance*	*A5.405.5.3 A5.405.5.3.1 A5.405.5.3.1.1 A5.405.5.3.1.2 A5.405.5.3.2 A5.405.5.3.2.1 A5.405.5.3.2.2 A5.405.5.3.2.3 A5.405.5.3.2.4*			
	SELECT ONE ELECTIVE	*Elective*	*Community Connectivity*	*A5.103.1*			
		Elective	*Brownfield or Greyfield site redevelopment or infill area development.*	*A5.103.2 A5.103.2.1*			
		Elective	*Reduce development footprint and optimize open space.*	*A5.104.1 A5.104.1.1 A5.104.1.2 A5.104.1.3*			
		Elective	*Disassemble and Reuse Existing Building Structure (70%) with exceptions*	*A5.105.1.1*			
		Elective	*Disassemble and Reuse Existing Non-Structure elements (50%) with exceptions*	*A5.105.1.2*			
		Elective	*Salvage*	*A5.105.1.3*			
		Elective	*Storm Water Design*	*A5.106.2 A5.106.2.1 A5.106.2.2*			
		Elective	*Low Impact Development (LID)*	*A5.106.3 A5.106.3.1 A5.106.3.2*			
		Elective	*Changing rooms w/ note*	*A5.106.4.3*			
		Elective	*Parking capacity w/ reduced parking capacity option*	*A5.106.6 A5.106.6.1*			
		Elective	*Exterior wall shading w/ fenestration and/or opaque wall areas option*	*A5.106.7 A5.106.7.1 A5.106.7.2*			
		Elective	*Heat island Effect*	*A5.106.11*			
DIVISION 5.2 Energy Efficiency	Mandatory	Meet the minimum Energy Efficiency Standard	*5.201.1*				
	Tier 1 Prerequisite	*Energy Performance Outdoor lighting power 90% of Part 6*	*A5.203.1.1.1*				
	Tier 1 Prerequisite	*If applicable, Service for water heating in restaurants 8,000 sf or greater*	*A5.203.1.1.2*				
	Tier 1 Prerequisite	Energy Budget 95% or 90% of Part 6 calculated value of allowance	*A5.203.1.2.1*				
	SELECT ONE ELECTIVE	*Elective*	*On-site renewable energy w/ documentation*	*A5.211.1 A5.211.1.1*			
		Elective	*Green power*	*A5.211.3*			
		Elective	*Elevators w/ car lights and fan*	*A5.212.1.1 A5.212.1.1.1*			
		Elective	*Escalators w/ controls*	*A5.212.1.2*			
		Elective	*Controls that reduce energy*	*A5.212.1.4*			
		Elective	*Steel framing*	*A5.213.1*			
DIVISION 5.3 Water Efficiency and Conservation	Mandatory	Separate Meters (new Buildings or additions > 50,000 SF that consume more than 100 gal/day)	5.303.1.1				
	Mandatory	Separate Meters (for tenants in new buildings or additions that consume more than 1,000 gal/day)	5.303.1.2				
	Tier 1 Prerequisite	*Water Reduction Tier 1. 12% savings over the "water use baseline" Table A5.303.2.2 or Meet table A5.303.2.3.1*	*A5.303.2.3.1*				
	Mandatory	Water closets shall not exceed 1.28 gallons per flush	5.303.3.1				
	Mandatory	Wall-mounted urinals shall not exceed 0.125 gpf	5.303.3.2.1				
	Mandatory	Floor-mounted urinals shall not exceed 0.5 gpf	5.303.3.2.2				
	Mandatory	Single showerhead shall have maximum flow rate of 2.0 gpm (gallons per minute) at 80 psi	5.303.3.3.1				
	Mandatory	Multiple showerheads serving one shower shall have a combined flow rate of 2.0 gpm at 80 psi	5.303.3.3.2				
	Mandatory	Nonresidential lavatory faucets	5.303.3.4.1				
	Mandatory	Kitchen faucets	5.303.3.4.2				
	Mandatory	Wash basins	5.303.3.4.3				
	Mandatory	Metering faucets	5.303.3.4.4				
	Mandatory	Metering faucets for wash fountains	5.303.3.4.5				
	Mandatory	Food waste disposers w/note	5.303.4.1				
	Mandatory	Areas of additions and alterations	5.303.5				
	Mandatory	Standards for plumbing fixtures and fittings	5.303.6				
	Mandatory	Outdoor water use in landscape areas equal to or greater than 500 square feet	5.304.2				
	Mandatory	Outdoor water use in rehabilitated landscape projects with areas equal to or greater than 2,500 square feet	5.304.3				
	Mandatory	Outdoor water use in landscape areas of 2,500 square feet or less	5.304.4				
	Mandatory	Graywater or rainwater use in landscaped areas	5.304.5				
	Mandatory	Outdoor water supply systems (with exceptions 1-4)	5.305.1.1				
	Mandatory	Technical requirements for outdoor recycled water supply systems	5.305.1.2				
	SELECT ONE	*Elective*	*Nonpotable water systems for indoor use*	*A5.303.2.3.4*			
		Elective	*Appliances and fixtures for commercial application*	*A5.303.3*			
			Nonwater supplied urinals	*A5.303.4.1*			
		Elective	*Dual plumbing*	*A5.303.5*			
		Elective	*Outdoor potable water use*	*A5.304.2*			
		Elective	*Restoration of areas disturbed by construction*	*A5.304.6*			
		Elective	*Previously developed sites w/ exception*	*A5.304.7*			
		Elective	*Graywater irrigation system*	*A5.304.8*			
		Elective	*Nonpotable water systems*	*A5.305.1*			
		Elective	*Irrigation systems*	*A5.305.2*			
DIVISION 5.4 Material Conservation and Resource Efficiency	*Tier 1 Prerequisite*	*Recycled content for10% of total material cost*	*A5.405.4A 5.405.4.1 Through A5.405.4.5*				
	Mandatory	Weather Protection	5.407.1				
	Mandatory	Moisture Control: sprinklers	5.407.2.1				
	Mandatory	Moisture Control: Exterior door protection	5.407.2.2.1				
	Mandatory	Moisture Control: Flashing	5.407.2.2.2				
	Mandatory	Construction waste management-comply with either: sections 5.408.1.1, 5.408.1.2, 5.408.1.3 or more stringent local ordinance	5.408.1.1, 5.408.1.2, 5.408.1.3				
	Mandatory	Construction waste management: Documentation w/notes	5.408.1.4				
	SELECT ONE ELECTIVE	*Elective*	*Choice of materials*	*A5.406.1 A5.406.1.1 A5.406.1.2 A5.406.1.3*			
		Elective	*Life cycle assessment: General*	*A5.409.1*			
		Elective	*Whole building life cycle assessment*	*A5.409.2 A5.409.2.1 A5.409.2.2*			
		Elective	*Materials and system assemblies*	*A5.409.3*			
		Elective	*Substitution for prescriptive standards*	*A5.409.4*			
		Elective	*Verification of compliance*	*A5.409.5*			
DIVISION 5.5 Environmental Quality	Mandatory	Fireplaces	5.503.1				
	Mandatory	Woodstoves	5.503.1.1				
	Mandatory	Temporary ventilation	5.504.1				
	Mandatory	Covering of ducts openings and protection of mechanical equipment during construction	5.504.3				
	Mandatory	Adhesives, sealants and caulks	5.504.4.1				
	Mandatory	Paints and coatings	5.504.4.3				
	Mandatory	Aerosol paints and coatings	5.504.4.3.1				
	Mandatory	Aerosol paints and coatings: Verification	5.504.4.3.2				
	Mandatory	Carpet systems	5.504.4.4				
	Mandatory	Carpet cushion	5.504.4.4.1				
	Mandatory	Carpet adhesives	5.504.4.4.2				
	Mandatory	Composite wood products	5.504.4.5				
	Mandatory	Composite wood products: Documentation	5.504.4.5.3				
	Mandatory	Resilient flooring systems	5.504.4.6				
	Mandatory	Resilient flooring: Verification of compliance	5.504.4.6.1				
	Tier 1 Prerequisite	*Resilient flooring systems, Tier 1w/ verification*	*A5.504.4.7 A5.504.4.7.2*				
	Tier 1 Prerequisite	*Thermal insulation, Tier 1 w/ verification of compliance*	*A5.504.4.8 A5.504.4.8.2*				
	Mandatory	Filters w/ exceptions	5.504.5.3				
	Mandatory	Filters: Labeling	5.504.5.3.1				
	Mandatory	Environmental tobacco smoke (ETS) control	5.504.7				
	Mandatory	Indoor moisture control	5.505.1				
	Mandatory	Outside air delivery	5.506.1				
	Mandatory	Carbon dioxide (CO2) monitoring	5.506.2				
	Mandatory	Acoustical control w/ exception	5.507.4				
	Mandatory	Exterior noise transmission, prescriptive method w/ exceptions	5.507.4.1				
	Mandatory	Noise exposure where noise contours are not readily available	5.507.4.1.1				
	Mandatory	Performance method	5.507.4.2				
	Mandatory	Site features	5.507.4.2.1				
	Mandatory	Documentation of compliance	5.507.4.2.2				
	Mandatory	Interior sound transmission w/ note	5.507.4.3				
	Mandatory	Ozone depletion and greenhouse gas reductions	5.508.1				
	Mandatory	Chlorofluorocarbons (CFCs)	5.508.1.1				
	Mandatory	Halons	5.508.1.2				
	Mandatory	Supermarket refrigerant leak reduction for retail food stores 8,000 square feet or more sections 5.508.2 through 5.508.2.6.3	5.508.2 through 5.508.2.6.3				
	SELECT ONE ELECTIVE	*Elective*	*Indoor air quality (IAQ) during construction*	*A5.504.1 A5.504.1.1 A5.504.1.2*			
			IAQ postconstruction	*A5.504.2*			
		Elective	*IAQ testing*	*A5.504.2.1 A5.504.2.1.1 A5.504.2.1.2 A5.504.2.1.3*			
		Elective	*No added formaldehyde Tier 1 w/ notes*	*A5.504.4.5.1*			
		Elective	*Acoustical ceilings and wall panels w/ verification of compliance*	*A5.504.4.9 A5.504.4.9.1*			
		Elective	*Hazardous particulates and chemical pollutants*	*A5.504.5*			
		Elective	*Entryway systems*	*A5.504.5.1*			
		Elective	*Isolation of pollutant sources*	*A5.504.5.2*			
		Elective	*Filters, Tier 1*	*A5.504.5.3.1*			
		Elective	*Lighting and thermal comfort controls*	*A5.507.1 A5.507.1.1 through A5.507.1.2*			
		Elective	*Daylight w/ exception*	*A5.507.2*			
		Elective	*Views w/ exception*	*A5.507.3*			
		Elective	*Interior office spaces*	*A5.507.3.1*			
		Elective	*Multi-occupant spaces*	*A5.507.3.2*			
		Elective	*Hydrochlorofluorocarbons (HCFCs)*	*A5.508.1.3*			
		Elective	*Hydrofluorocarbons (HFCs)*	*A5.508.1.4*			
Additional Measures		*Select 1 additional measure (from any division)*	Add section #				
Total number of Measures require for Tier 1			15				
Total number of Measures selected							

Documentation Author's /Responsible Designer's Declaration Statement

Check the appropriate box(s) for the list below

- **Mandatory:** I attest that the mandatory provisions checklist is accurate and complete.
- **Tier 1compliant:** I attest that the total number of voluntary measures selected meet or exceed the total number required to achieve Tier 1compliance.
- **Partial Tier 1 compliant:** I attest that the total number of voluntary measures selected do not meet the total number required to achieve Tier 1compliance however partial Tier 1 compliance has been achieved.

Signature:	
Company:	Date:
Address:	License:
City/State/Zip:	Phone:

Redwood ADU
Built in California

SIGNATURE:

PROJECT INFO:
RESIDENCE REMODEL

ADDRESS:
18 SUTTER STREET
WOODLAND, CA 95695
APN: 005-060-004

NO.	DESCRIPTION	DATE

PERMIT SET

DRAWING TITLE:
CAL GREEN

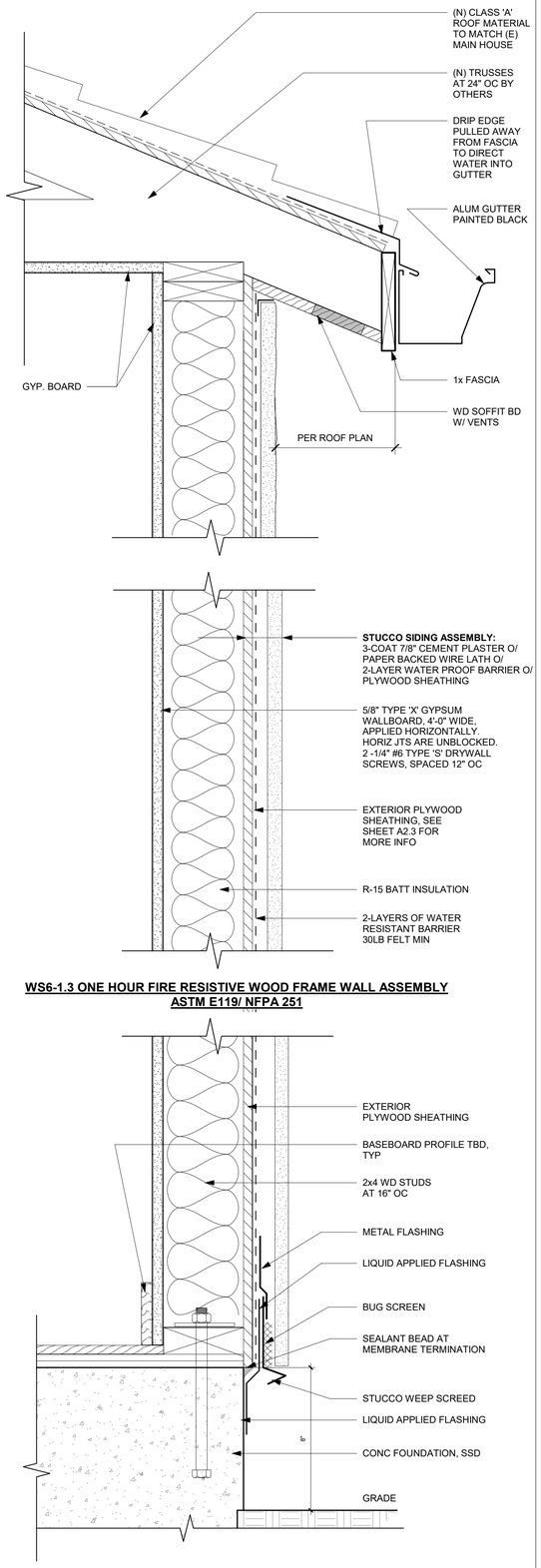
DATE: 03.16.2023

DRAWN BY: MJH

SCALE: AS SHOWN

SHEET #:
A6.1

10		7		4	
11		8		5	
12		9		6	



3 TYPICAL EXTERIOR WALL DETAIL

Redwood ADU
Built in California

SIGNATURE:

PROJECT INFO:
RESIDENCE REMODEL

ADDRESS:
18 SUTTER STREET
WOODLAND, CA 95695
APN: 005-060-004

NO.	DESCRIPTION	DATE

PERMIT SET

DRAWING TITLE:
DETAILS

DATE: 03.16.2023

DRAWN BY: MJH

SCALE: AS SHOWN

SHEET #:
A9.0

GENERAL REQUIREMENTS

1. Work performed shall comply with the following:
2. These General Requirements unless otherwise noted on plans or specifications.
3. Building Code - CBC 2022
4. All applicable local, State and Federal Codes, Ordinances, Laws, regulations and Protective Covenants governing the site of work.
5. Standard Specifications of ASTM as noted herein and as required by the Building Code.
6. All work needs to be performed by qualified and experienced contractors familiar with this type of project.
7. In case of conflict, the more stringent requirement shall govern.
8. On site verification of all dimensions and conditions shall be the responsibility of the contractor and sub-contractors. Noted dimensions take precedence over scale of drawings.
9. Engineer or architect of record is to be notified immediately by the contractor should any question arise or any discrepancy be found pertaining to the working drawings and/or specifications.
10. No deviations from these requirements and structural details shall be made without the written approval of E.O.R.. Approval by the inspector does not constitute authority to deviate from plans or specifications.

STRUCTURAL DESIGN CRITERIA

DESIGN IS IN CONFORMANCE WITH THE 2022 CALIFORNIA BUILDING CODE WITH THE FOLLOWING SITE SPECIFIC CREITERIA.

A. FLOOR AND ROOF LIVE LOADS.
1. ROOF ..... 20 PSF
2. FLOOR ..... 40 PSF

B. SNOW LOAD.
1. THE GROUND SNOW (PG) ..... 0 PSF

C. WIND LOAD
1. DESIGN WIND SPEED, VULT ..... 95 MPH
2. ASD DESIGN WIND SPEED, VASD ..... 73.6 MPH
3. WIND EXPOSURE ..... CATEGORY C
4. RISK CATEGORY ..... CATEGORY II

D. SEISMIC LOAD.
1. SEISMIC DESIGN CATEGORY ..... CATEGORY D
   S_s = 0.988g S_1 = 0.348g R = 6.5
   S_{ds} = 0.790g S_{m1} = 1.185g Cs= 0.122
2. SITE CLASS ..... CLASS D: Default
3. IMPORTANCE I

E. FOUNDATION.
1. NO FOUNDATION REPORT
2. DESIGN LOAD-BEARING VALUES OF SOILS = 1500 PSF.

STRUCTURAL WOOD

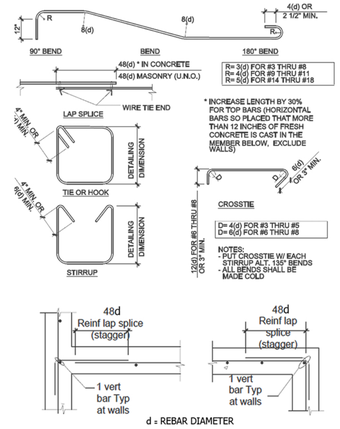
MINIMUM QUALITY
1. All structural wood shall be of Douglas Fir Larch species, (19% maximum moisture content at the time of construction U.N.O.).
2. All machine bolts shall conform to ASTM A307. Holes for bolts should be drilled 1/16" larger than bolt diameter.
3. For non-shear wall applications, round washers shall be used on all bolts and should conform with ANSI/ASME B 18.22.1. Use min. 1 3/8" Ø x 7/64" thick washer for 1/2" Ø bolt, 1 3/4" Ø x 9/64" thick washer for 5/8" Ø bolt and 2 1/2" Ø x 11/64" thick washer for 1" Ø bolt. U.N.O.
4. All nails shall be sinker nails and staggered U.N.O., except as shown in Nailing Schedule.
5. Adhesive used to attach floor sheathing to framing elements shall conform with APA specification AFG-01.
6. Manufactured hardware specified on the drawings are to be Simpson Strong Tie (Unless specifically authorized in writing by E.O.R.. Follow all manufacturer's requirements & recommendations for installation & handling of the product.
7. LUMBER GRADES (U.N.O.)
   6x & 8x posts / beams / headers: DFL #1
   4x posts / beams / headers: DFL #2
   2x joists / rafters: DFL #2
   Studs: D.F.L. Stud Grade (up to 9'-0"), DFL #2 (taller than 9'-0")
   Top plates & Mud sills: DFL construction grade or better
   See structural wood note #11 for additional mud sill requirements
   The following beams/headers/rims can be from any manufacturer with current approved icc es - evaluation report with the following mechanical properties:
   a. LVL BEAMS DOUGLAS FIR 2.0E, SG=.50, E=2000000 PSI, Fb=2600 PSI, Fv=285 PSI
   b. PSL BEAMS DOUGLAS FIR 2.2E, SG=.50, E=2200000 PSI, Fb=2900 PSI, Fv=290 PSI
8. TYPICAL FLOOR SHEATHING
   23/32" APA rated Sturd-I-Floor T&G Exp I with min. span rating of 24" o.c. Refer to NER 108 for installation and conditions of use
   B.N.:10d common nails at 6" o.c.
   E.N.:10d common nails at 6" o.c.
   F.N.:10d common nails at 12" o.c.
   TYPICAL ROOF SHEATHING
   15/32" APA rated sheathing Exp 1 with a min. panel index of 32/16. Refer to NER 108 for installation and conditions of use.
   B.N.:8d common nail at 6" o.c.
   E.N.:8d common nail at 6" o.c.
   F.N.:8d common nail at 12" o.c.
   *Note: All structural rated panels must be stamped by one of the following approved agencies, APA, PFS/TECO or Pittsburg.
9. All framing, bracing, nailing, notching, drilling or boring shall be in accordance with Building Code unless more stringent requirements are specified or required by the local Jurisdiction.
10. Top plates of all wood stud walls to consist of (2) 2x's the same width as the studs U.N.O. Top plates shall lap a min. of 48" and be spliced with not less than 6-16d nails spaced not more than 12" o.c.
11. Fasteners in contact with preservative treated lumber and fire retardant treated wood shall be of hot-dipped zinc-coated galvanized steel, stainless steel, silicon bronze or copper. Exception: Plain carbon steel fasteners in sbx/dot and zinc borate preservative-treated wood in an interior, dry environment shall be permitted.
12. Stud walls perpendicular to a concrete or masonry wall shall be bolted to the concrete or masonry wall with 5/8" diameter x 8" A307 bolts at top, mid-height and bottom.
13. All wood exposed to weather conditions must be pressure treated with hot dipped galvanized connectors as specified in note 11.
14. Conventional light framed construction requirements of chapter 23 should be followed as required.
15. All ledgers shall be spliced with ST22 strap, unless noted otherwise.
16. Provide post/multiple studs at lower floor under post/multiple studs above. Each post/stud shall be fastened by Gypsum Wall Board w/ 5d cooler nails @ 7" o.c. U.N.O. on plan. Provide full width and depth compression block between floors at such locations.

REINFORCED CONCRETE

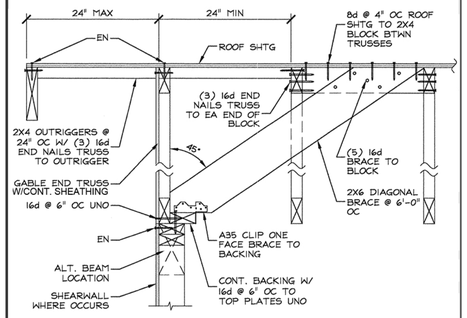
GENERAL
1. All reinforced concrete materials and construction shall conform to Building Code, chapter 19.

MATERIALS
2. Cement shall conform to Section 1903 of Building Code and shall correspond to that on which the selection of concrete proportions were based.
3. Concrete aggregates shall conform to Building Code Section 1903.
4. Portland cement shall be Type I or II conforming to ASTM C150. For concrete in contact with soil containing sulfate SO_4 ≥ 0.1% by weight use Type II cement, containing sulfate SO_4 ≥ 0.2% by weight useType V cement. Weight percentage of SO_3 shall be per soils report. Refer to Section 1904 of the Building Code for special exposure conditions as required by soils engineer & see corrosion engineer's recommendations for concrete exposed to corrosive elements.
5. Reinforcing steel shall conform to ASTM A615, Grade 60 for all sizes.
6. Dowels shall be equal in size and spacing.

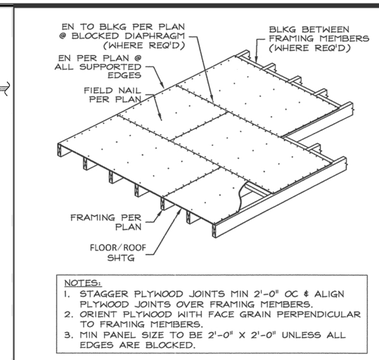
STRENGTH
7. The (28 days) concrete compressive strength, f'c, shall be min 2500 psi U.N.O.
8. Special inspection is required for concrete with f'c > 2500 psi
9. All reinforcing, dowels, holdowns, and other inserts shall be secured in position and approved by the local building official prior to the pouring of any concrete.
10. Min. concrete cover for reinforcing:
    a- Concrete, placed against earth not formed - 3"
    b- Concrete formed or troweled - 2"
    c- Walls and curbs - 1 1/2"
    d- Slab on grade - at center



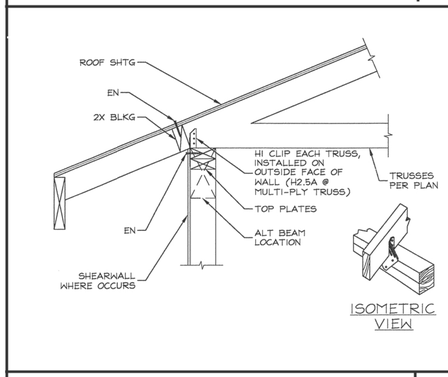
TYP. REINFORCING DETAILS



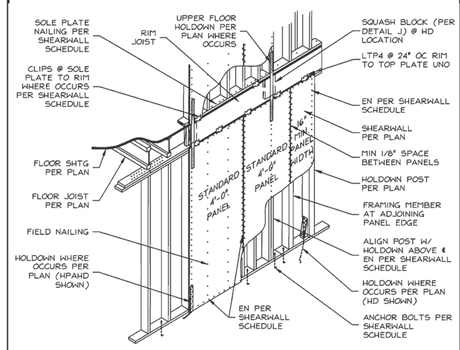
GABLE END BRACE | 8



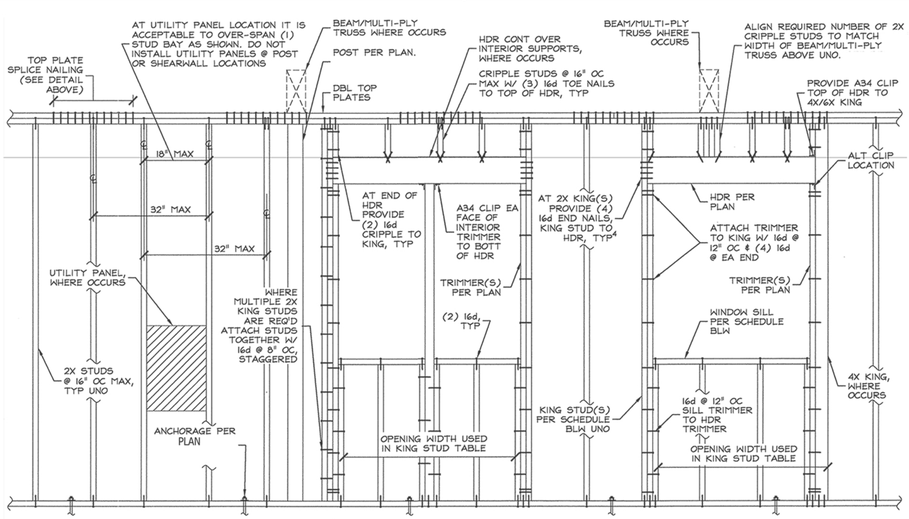
TYPICAL DIAPHRAGM NAILING | 4



H1 HURRICANE TIE | 7



TYPICAL DIAPHRAGM NAILING | 3



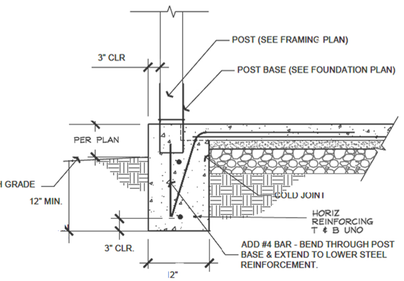
STANDARD KING STUDS AT EXTERIOR WALLS								
PLATE HEIGHT	OPENING WIDTH	3'-0"	5'-0"	6'-0"	8'-0"	10'-0"	12'-0"	16'-0"
4" WALL	8'-1 1/2"	2X	2X	2X	(2) 2X	(3) 2X OR 4X4	(4) 2X OR 4X6	(4) 2X OR 4X6
	9'-1 1/2"	2X	(2) 2X	(3) 2X OR 4X4	(4) 2X OR 4X6	(4) 2X OR 4X6	(5) 2X OR 4X8	4X10
	10' 1 1/2"	(2) 2X	(3) 2X OR 4X4	(4) 2X OR 4X6	(5) 2X OR 4X6	(6) 2X OR 4X8	(6) 2X OR 4X10	4X12
6" WALL	UP TO 10'-1 1/2"	2X	2X	2X	2X	2X	(2) 2X	(2) 2X
	12'-1 1/2"	2X	2X	2X	(2) 2X	(2) 2X	(3) 2X OR 4X6	(4) 2X OR 6X6
##REDUCED KING STUDS AT WALLS W/ L/240 DEFLECTION CRITERIA###								
4" WALL	8'-1 1/2"	2X	2X	2X	(2) 2X	(2) 2X	(3) 2X OR 4X4	(4) 2X OR 4X6
	9'-1 1/2"	2X	(2) 2X	(2) 2X	(3) 2X OR 4X4	(3) 2X OR 4X4	(4) 2X OR 4X6	(5) 2X OR 4X16
	10' 1 1/2"	2X	(2) 2X	(3) 2X OR 4X4	(3) 2X OR 4X4	(4) 2X OR 4X6	(5) 2X OR 4X6	(6) 2X OR 4X8

NON-BEARING WALL HEADER SCHEDULE[6]						
WALL SIZE	OPENING WIDTH	3'-0"	6'-0"	8'-0"	12'-0"	16'-0"
4" WALL	2X4	4X4 OR (2) 2X4	4X6	4X8	4X10	
6" WALL	2X6	4X6 FLAT	6X6	6X6	6X8	

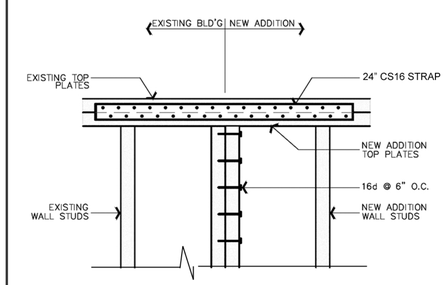
WINDOW SILLS		
WALL SIZE	OPENING WIDTH	6'-0"	8'-0"
4" WALL	2X	(2) 2X
6" WALL	2X	2X

FRAMING NOTES:
OWNER/CONTRACTOR TO VERIFY FINISH MATERIAL DEFLECTION REQUIREMENTS###
1. FOR BACK TO BACK OPENINGS W/ A FULL-HEIGHT CENTER KING, SIZE FOR SUM OF OPENING WIDTHS. (EXAMPLE: (2) 3'-0" OPENINGS = KING FOR A 6'-0" OPENING)
2. PROVIDE (1) 2X TRIMMER & (2) 2X KING STUDS MIN @ GARAGE DOOR & PORCH HEADERS, UNO
3. AT INTERIOR & GARAGE/HOUSE WALLS PROVIDE (1) 2X KING STUD AT OPENINGS UP TO 12' & (2) 2X KINGS OPENINGS UP TO 16', UNO, W/ (2) 16d END NAILS KING STUD TO HEADER.
4. AT NON-BEARING WALLS PROVIDE (1) 2X TRIMMER EACH END OF OPENINGS UP TO 12' & (2) 2X TRIMMERS UP TO 16', UNO.
5.
6. (1) II 7/8" TJI 110 OR EQUIVALENT MAY BE USED @ NON-BEARING WALL OPENINGS UP TO 16'-0"

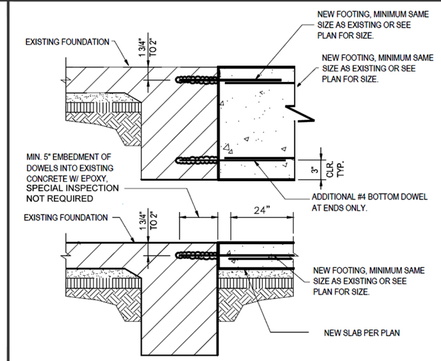
TYPICAL WALL FRAMING



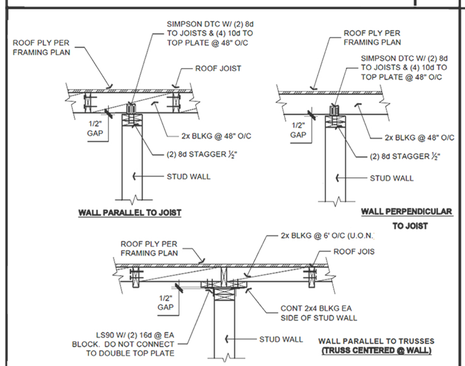
FOOTING AT PORCH | 10



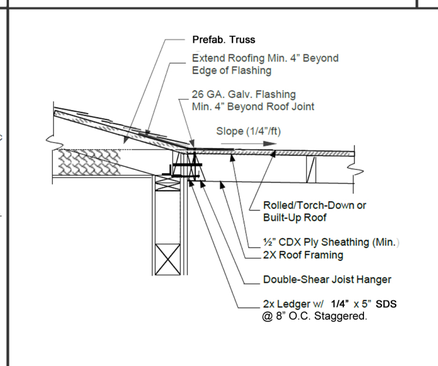
FRAMING TO EXISTING WALL DETAIL | 6



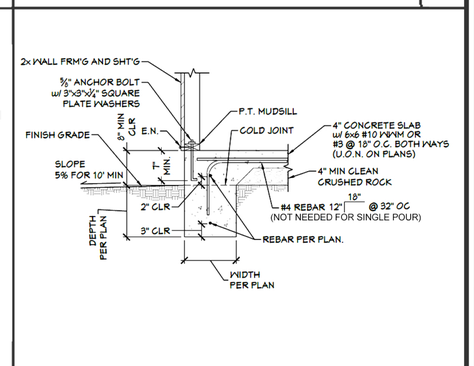
ADDITION OF FTN'G AT EXISTING FOUNDATION | 2



FRAMING TO NON-BEARING WALLS | 9



PATIO COVER CONNECTION | 5



PAREMITER FOOTING | 1

IMAD ABU-MARKHIEH
CIVIL AND STRUCTRAL ENGINEERING
BODEGA CT 3590
SACRAMENTO, CA 95864
TEL:916-468-3768
markhieh@gmail.com

REGISTERED PROFESSIONAL ENGINEER IMAD ABU-MARKHIEH No. C41673 Exp. 3-31-24 CIVIL STATE OF CALIFORNIA

3/13/23

DRAFTING: MJH

OWNER:

CONTRACTOR: Redwood ADU
Built in California

A Remodel & Addition for;
18 SUTTER STREET
WOODLAND, CA 95695
APN: 005-060-004

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NUMBER: N/A

SHEET NAME: STRUCURE NOTES & DETAILS

SHEET NUMBER: SD1

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01E**

Project Name: 18 Sutter Addition E+A **Calculation Date/Time:** 2023-02-25T07:13:06-08:00 **(Page 1 of 11)**

Calculation Description: Title 24 Analysis **Input File Name:** Redwood-ADU_18-Sutter_Add.ribd22x

GENERAL INFORMATION					
01	Project Name	18 Sutter Addition E+A			
02	Run Title	Title 24 Analysis			
03	Project Location	18 Sutter Street			
04	City	Woodland	05	Standards Version	2022
06	Zip code	95695	07	Software Version	CBECC-Res 2022.2.1
08	Climate Zone	12	09	Front Orientation (deg/ Cardinal)	270
10	Building Type	Single family	11	Number of Dwelling Units	1
12	Project Scope	Addition and/or Alteration	13	Number of Bedrooms	3
14	Addition Cond. Floor Area (ft^2)	232	15	Number of Stories	1
16	Existing Cond. Floor Area (ft^2)	1068	17	Fenestration Average U-factor	0.3
18	Total Cond. Floor Area (ft^2)	1300	19	Glazing Percentage (%)	15.30%
20	ADU Bedroom Count	n/a			

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01E**

Project Name: 18 Sutter Addition E+A **Calculation Date/Time:** 2023-02-25T07:13:06-08:00 **(Page 2 of 11)**

Calculation Description: Title 24 Analysis **Input File Name:** Redwood-ADU_18-Sutter_Add.ribd22x

ENERGY USE SUMMARY						
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft^2 -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft^2 -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft^2 -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft^2 -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	0	23.32	0	24.21	0	-0.89
Space Cooling	0	39.46	0	21.01	0	18.45
IAQ Ventilation	0	0	0	0	0	0
Water Heating	0	23.99	0	14.02	0	9.97
Self Utilization/Flexibility Credit						
Efficiency Compliance Total	**0**	**86.77**	**0**	**59.24**	**0**	**27.53**
Photovoltaics		0		0		
Battery				0		
Flexibility						
Indoor Lighting	0	7.85	0	7.85		
Appl. & Cooking	0	28.18	0	28		
Plug Loads	0	43.73	0	43.73		
Outdoor Lighting	0	1.79	0	1.79		
TOTAL COMPLIANCE	**0**	**168.32**	**0**	**140.61**		

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01E**

Project Name: 18 Sutter Addition E+A **Calculation Date/Time:** 2023-02-25T07:13:06-08:00 **(Page 3 of 11)**

Calculation Description: Title 24 Analysis **Input File Name:** Redwood-ADU_18-Sutter_Add.ribd22x

ENERGY USE INTENSITY				
	Standard Design (kBtu/ft^2 - yr)	Proposed Design (kBtu/ft^2 - yr)	Compliance Margin (kBtu/ft^2 - yr)	Margin Percentage
Gross EUI[1]	19.39	17.27	2.12	10.93
Net EUI[2]	19.39	17.27	2.12	10.93

Notes
1. Gross EUI is Energy Use Total (not including PV) / Total Building Area.
2. Net EUI is Energy Use Total (including PV) / Total Building Area.

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- Window overhangs and/or fins
- Variable capacity heat pump compliance option (verification details from VCHP Staff report, Appendix B, and RA3)
- Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater; specific brand/model, or equivalent, must be installed

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry.

- Verified Refrigerant Charge
- Airflow in habitable rooms (SC3.1.4.1.7)
- Verified heat pump rated heating capacity
- Wall-mounted thermostat in zones greater than 150 ft2 (SC3.4.5)
- Ductless indoor units located entirely in conditioned space (SC3.1.4.1.8)

BUILDING - FEATURES INFORMATION

01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft^2)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
18 Sutter Addition E+A	1300	1	3	2	0	1

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01E**

Project Name: 18 Sutter Addition E+A **Calculation Date/Time:** 2023-02-25T07:13:06-08:00 **(Page 4 of 11)**

Calculation Description: Title 24 Analysis **Input File Name:** Redwood-ADU_18-Sutter_Add.ribd22x

ZONE INFORMATION

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft^2)	Avg. Ceiling Height	Water Heating System 1	Status
Existing 1st Floor	Conditioned	Mini-Split1	1068	8	DHW Sys 1	Existing Unchanged
Addition 1st Floor	Conditioned	Mini-Split1	232	8	DHW Sys 1	New

OPAQUE SURFACES

01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft^2)	Window and Door Area (ft2)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
Front	Existing 1st Floor	R-13 Wall	270	Front	280	56	90	none	Existing	No
Left	Existing 1st Floor	R-13 Wall	0	Left	200	12	90	none	Existing	No
Back	Existing 1st Floor	R-13 Wall	90	Back	48	0	90	none	Existing	No
Right	Existing 1st Floor	R-13 Wall	180	Right	256	42	90	none	Existing	No
Left 2	Addition 1st Floor	R-15 Wall	0	Left	192	40	90	none	New	n/a
Back 2	Addition 1st Floor	R-15 Wall	90	Back	224	37.5	90	none	New	n/a
Right 2	Addition 1st Floor	R-15 Wall	180	Right	120	12	90	none	New	n/a
Interior Wall	Addition 1st Floor>>Existing 1st Floor	Int Wall	n/a	n/a	160	0	n/a		New	n/a
Attic	Existing 1st Floor	R-30 Roof Attic	n/a	n/a	1068	n/a	n/a		Existing	No
Attic 2	Addition 1st Floor	R-38 Roof Attic	n/a	n/a	232	n/a	n/a		New	n/a

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01E**

Project Name: 18 Sutter Addition E+A **Calculation Date/Time:** 2023-02-25T07:13:06-08:00 **(Page 5 of 11)**

Calculation Description: Title 24 Analysis **Input File Name:** Redwood-ADU_18-Sutter_Add.ribd22x

ATTIC

01	02	03	04	05	06	07	08	09	10
Name	Construction	Type	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof	Status	Verified Existing Condition
Attic Existing 1st Floor	Attic RoofExisting 1st Floor	Ventilated	5	0.1	0.85	No	No	Existing	No
Attic Addition 1st Floor	Attic RoofAddition 1st Floor	Ventilated	8	0.1	0.85	No	No	New	n/a

FENESTRATION / GLAZING

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft^2)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
Win A	Window	Front	Front	270	3	4	1	12	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No
Win A 2	Window	Front	Front	270	3	4	1	12	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No
Door 01	Window	Front	Front	270	3	6.66	1	20	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No
Win A 3	Window	Front	Front	270			1	12	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No
Win A 4	Window	Left	Left	0			1	12	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No
Win C	Window	Right	Right	180			1	12	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
Win D	Window	Right	Right	180			1	9	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
Win C 2	Window	Right	Right	180			1	12	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
Win D 2	Window	Right	Right	180			1	9	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
Door 02	Window	Left 2	Left	0			1	40	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
Win C 3	Window	Back 2	Back	90			1	12	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
Win C 4	Window	Back 2	Back	90			1	12	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01E**

Project Name: 18 Sutter Addition E+A **Calculation Date/Time:** 2023-02-25T07:13:06-08:00 **(Page 6 of 11)**

Calculation Description: Title 24 Analysis **Input File Name:** Redwood-ADU_18-Sutter_Add.ribd22x

FENESTRATION / GLAZING

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft^2)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
Win B	Window	Back 2	Back	90			1	13.5	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
Win C 5	Window	Right 2	Right	180			1	12	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA

OVERHANGS AND FINS

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17
Window	Overhang					Left Fin				Right Fin						
	Depth	Dist Up	Left Extent	Right Extent	Flap Ht.	Depth	Top Up	Dist L	Bot Up	Depth	Top Up	Dist R	Bot Up	Status	Verified Existing Condition	Existing Construction
Win A	6	0.1	6	6	0	0	0	0	0	0	0	0	0	Altered	No	
Win A 2	6	0.1	6	6	0	0	0	0	0	0	0	0	0	Altered	No	
Door 01	6	0.1	6	6	0	0	0	0	0	0	0	0	0	Altered	No	

SLAB FLOORS

01	02	03	04	05	06	07	08	09	10
Name	Zone	Area (ft^2)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab-on-Grade	Existing 1st Floor	1068	101	none	0	80%	No	Existing	No

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01E**

Project Name: 18 Sutter Addition E+A **Calculation Date/Time:** 2023-02-25T07:13:06-08:00 **(Page 7 of 11)**

Calculation Description: Title 24 Analysis **Input File Name:** Redwood-ADU_18-Sutter_Add.ribd22x

SLAB FLOORS

01	02	03	04	05	06	07	08	09	10
Name	Zone	Area (ft^2)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab-on-Grade 2	Addition 1st Floor	232	59	none	0	80%	No	New	n/a

OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-13 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-13	None / None	0.101	Inside Finish: Gypsum Board Cavity / Frame: R-13 / 2x4 Exterior Finish: 3 Coat Stucco
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco
Int Wall	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board
Attic RoofExisting 1st Floor	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / 0	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
Attic RoofAddition 1st Floor	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / 0	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01E**

Project Name: 18 Sutter Addition E+A **Calculation Date/Time:** 2023-02-25T07:13:06-08:00 **(Page 8 of 11)**

Calculation Description: Title 24 Analysis **Input File Name:** Redwood-ADU_18-Sutter_Add.ribd22x

OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-30 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-30	None / None	0.032	Over Ceiling Joists: R-20.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board
R-38 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-38	None / None	0.025	Over Ceiling Joists: R-28.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board

BUILDING ENVELOPE - HERS VERIFICATION

01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Not Required	Not Required	N/A	n/a	n/a

WATER HEATING SYSTEMS

01	02	03	04	05	06	07	08	09	10	11	12
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1	Domestic Hot Water (DHW)	Standard	DHW Heater 1	1	n/a	None	n/a	DHW Heater 1 (1)	New	NA	

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD **CF1R-PRF-01E**

Project Name: 18 Sutter Addition E+A **Calculation Date/Time:** 2023-02-25T07:13:06-08:00 **(Page 9 of 11)**

Calculation Description: Title 24 Analysis **Input File Name:** Redwood-ADU_18-Sutter_Add.ribd22x

WATER HEATERS - NEEA HEAT PUMP

01	02	03	04	05	06	07	08
Name	# of Units	Tank Vol. (gal)	NEEA Heat Pump Brand	NEEA Heat Pump Model	Tank Location	Duct Inlet Air Source	Duct Outlet Air Source
DHW Heater 1	1	50	Rheem	RheemXE50T10H45U0	Outside	Existing 1st Floor	Existing 1st Floor

WATER HEATING - HERS VERIFICATION

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required

SPACE CONDITIONING SYSTEMS

01	02	03	04	05	06	07	08	09	10	11	12
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Existing HVAC System
Mini-Split1	Heat pump heating cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback	New	No	

HVAC - HEAT PUMPS

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Heating				Cooling			Zonally Controlled	Compressor Type	HERS Verification
			Efficiency Type	HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	SEER / SEER2	EER / EER / CEER			
Heat Pump System 1	VCHP-ductless	1	HSPF2	7.5	12000	7800	EER2SEER2	14.3	11.7	Not Zonal	Single Speed	Heat Pump System 1-hers-Htpump

Redwood ADU
Built in California

SIGNATURE:

PROJECT INFO:
RESIDENCE REMODEL

ADDRESS:
18 SUTTER STREET
WOODLAND, CA 95695
APN: 005-060-004

NO.	DESCRIPTION	DATE

PERMIT SET

DRAWING TITLE: TITLE 24

DATE: 03.16.2023

DRAWN BY: MJH

SCALE: AS SHOWN

SHEET #: T24

HVAC HEAT PUMPS - HERS VERIFICATION

01	02	03	04	05	06	07	08	09
Name	**Verified Airflow**	**Airflow Target**	**Verified EER/EER2**	**Verified SEER/SEER2**	**Verified Refrigerant Charge**	**Verified HSPF/HSPF2**	**Verified Heating Cap 47**	**Verified Heating Cap 17**
Heat Pump System 1-hers-htpump	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes

VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION - HERS VERIFICATION

01	02	03	04	05	06	07	08	09	10
Name	**Certified Low-Static VCHP System**	**Airflow to Habitable Rooms**	**Ductless Units in Conditioned Space**	**Wall Mount Thermostat**	**Air Filter Sizing & Pressure Drop Rating**	**Low Leakage Ducts in Conditioned Space**	**Minimum Airflow per RA3.3 and SC3.3.3.4.1**	**Certified non-continuous Fan**	**Indoor Fan not Running Continuously**
Heat Pump System 1	Not required	Required	Required	Required	Not required	Not required	Not required	Not required	Not required

CalCERTS, Inc.
HERS PROVIDER

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

1. I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Melinda Wollny	Documentation Author Signature: Melinda Wollny
Company: ResCom Energy	Signature Date: 2023-02-25 07:16:09
Address: 3166 Suisun Bay Rd	CEA/ HERS Certification Identification (If applicable):
City/State/Zip: West Sacramento, CA 95691	Phone: 916-373-1383

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: Max Kellogg	Responsible Designer Signature: Max Kellogg
Company: KELLOGG CONSTRUCTION	Date Signed: 2023-02-26 18:11:00
Address: 2635 57TH STREET	License: N/A
City/State/Zip: SACRAMENTO, CA 95817	Phone: 916-619-9585

CalCERTS, Inc.
HERS PROVIDER

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Easy to Verify at CalCERTS.com

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Built in California

SIGNATURE:

PROJECT INFO:
RESIDENCE REMODEL

ADDRESS:
18 SUTTER STREET
WOODLAND, CA 95695
APN: 005-060-004

NO.	DESCRIPTION	DATE

PERMIT SET

DRAWING TITLE: TITLE 24

DATE: 03.16.2023

DRAWN BY: MJH

SCALE: AS SHOWN

SHEET #: T24.0